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Project:

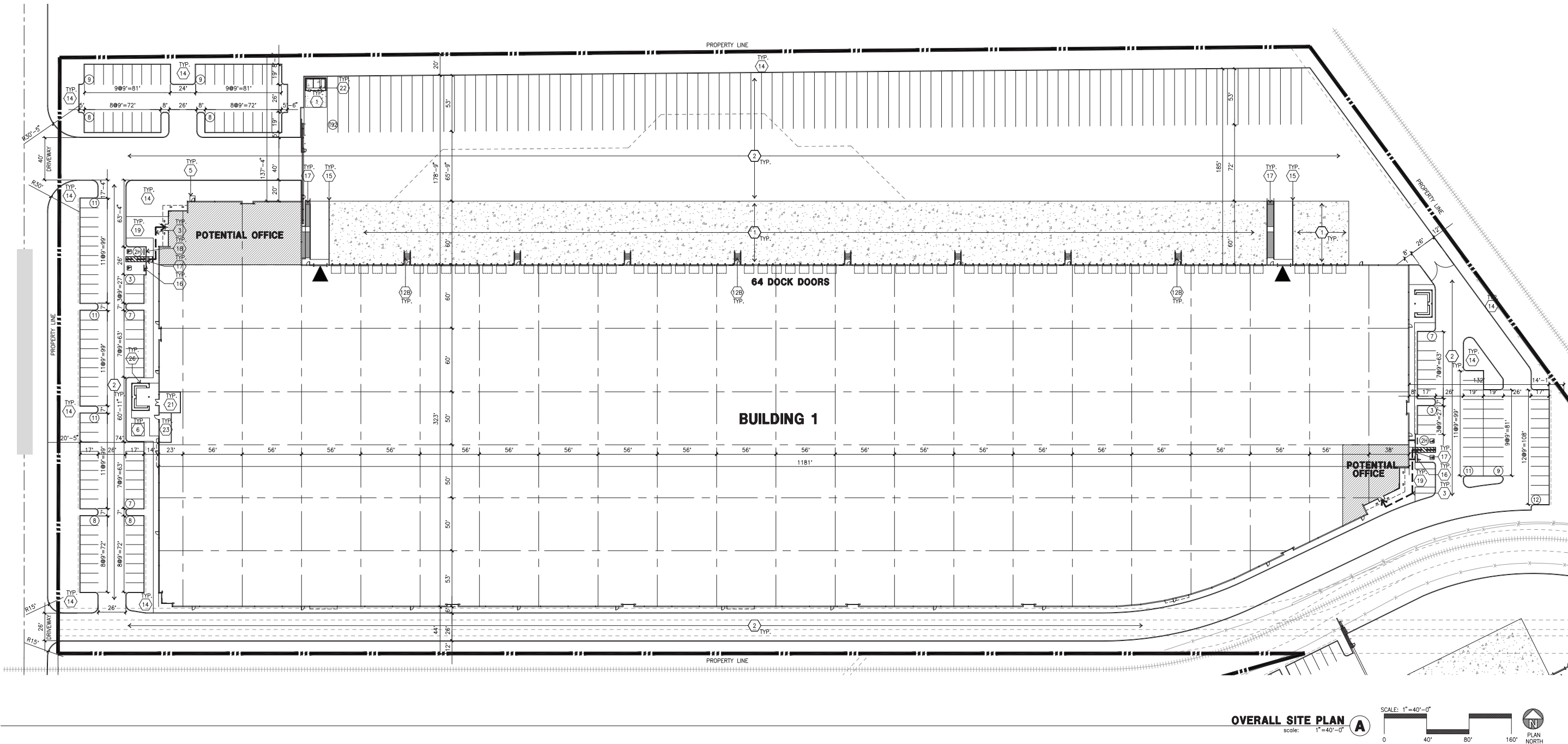
Consultants:

Civil:
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape:
Fire Protection:
Soils Engineer:

Title:
Overall Site Plan

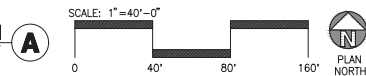
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Date: 02/15/2019

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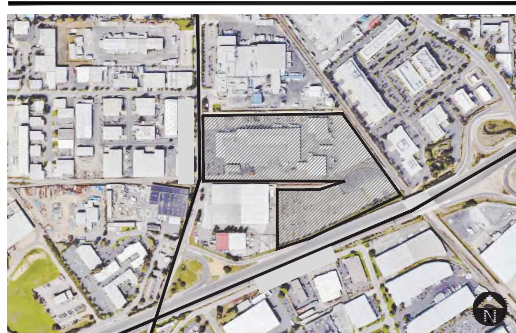


OVERALL SITE PLAN

scale: 1"=40'-0"



AERIAL MAP



PROJECT DATA

BLDG. 1			
SITE AREA			
In s.f.			s.f.
In acres			ac
BUILDING AREA			
Office	10,000	s.f.	
Warehouse	368,317	s.f.	
TOTAL	378,317	s.f.	
COVERAGE			
AUTO PARKING REQUIRED			
Office	1/250	s.f.	40 stalls
Whse.	1/2,000	s.f.	183 stalls
TOTAL			223 stalls
AUTO PARKING PROVIDED			
Standard (9' x 19')			180 stalls
TRAILER PARKING PROVIDED			
Trailer (10' x 55')			95 stalls
ZONING ORDINANCE FOR CITY			
Zoning Designation - Industrial (I)			
MAXIMUM BUILDING HEIGHT ALLOWED			
Height - No limit, Office-40'			
MAXIMUM LOT COVERAGE			
Coverage - No limit			
SETBACKS			
side/Rear - None			

SITE PLAN KEYNOTES

- HEAVY BROOM FINISH CONCRETE PAVEMENT. SEE "C" DRAWINGS.
- ASPHALT CONCRETE (AC) PAVING
- ACCESSIBLE PATH OF TRAVEL
- DRIVEWAY APRONS TO BE CONSTRUCTED PER "C" AND "L" DRAWINGS.
- 5'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH SLOPE TO BE 1/4" - 1/2" MAX.
- APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY WITH UTILITY COMPANY
- 8" HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS SEE 8/AD.2 FOR DETAILS. MANGATE DETAIL SEE 4/AD. AND 51/AD.1
- 6" HIGH CHAIN LINK FENCE
- METAL FENCE
- CONCRETE WALKWAY, MEDIUM BROOM FINISH. SEE "L" DRAWINGS.
- CONCRETE RAMP WITH CONCRETE GUARD WALL. SEE "C" DRAWINGS.
- BIKE RACK. SEE 13/AD.2 FOR DETAILS.
- FUTURE ELECTRIC VEHICLE CHARGER. SEE "E" DRAWING FOR CONDUIT.
- EXTERIOR METAL STEEL STAIR. SEE 1, 2, 3, 3A, 4, 9, 14/AD.2 FOR DETAILS.
- EXTERIOR CONCRETE STEEL STAIR. SEE 1, 2, 3, 3A, 4, 9, 14/AD.2 FOR DETAILS.
- 12' x 14' DRIVE-IN DOOR
- LANDSCAPE. ALL LANDSCAPE AREAS INDICATED BY SHADING
- CONC. FILLED GUARD POST 6" DIA. U.N.O. 48" H. SEE 9/AD.1 FOR DETAILS.

CONTINUED SITE PLAN KEYNOTES

- PRE-CAST CONC. WHEEL STOP. SEE 3/AD.1 FOR DETAILS.
- TRUNCATED DOMES. SEE 17/AD.1 FOR DETAILS.
- ACCESSIBLE PARKING STALL SIGN. SEE 19/AD.1 FOR DETAILS.
- HARDSCAPE AT ENTRANCE. SEE "L" DRAWINGS.
- ACCESSIBLE ENTRY SIGN. SEE X/AD.X
- PUMP ROOM. SEE A-D.1
- TRASH ENCLOSURE. SEE A-D.1
- ELECTRICAL ROOM.
- CONCRETE DOLLY PAD. SEE SITE PLAN FOR WIDTH AND "C" DRAWINGS.
- SMOKING AREA. SEE 6,7 & 9/AD.5 FOR DETAILS.
- EXTERIOR EMPLOYEE BREAK AREA.
- EXTERIOR PARKING LIGHT POLE. SEE "E" DRAWINGS AND DETAIL X/AD.X.
- STORM TREATMENT SEE CIVIL
- APPROXIMATE LOCATION OF FIRE HYDRANT. SEE "C" AND "FP" DRAWINGS.
- CONNECT ROOF DRAIN TO STORM DRAIN. SEE "C" DRAWINGS FOR CONNECTIONS
- APPROXIMATE LOCATION OF RECESSED KNOX-BOX.

SITE PLAN GENERAL NOTES

- THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY GEOTECHNICAL ENGINEER, DATE, PROJECT NUMBER #
- IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES
- PROVIDE STRUCTURAL CALCULATION AND CONSTRUCTION ANCHORAGE DETAIL FOR TRANSFORMER PRIOR TO INSTALLATION.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH
- U.N.O. PROVIDE KNOX BOXES AT ALL OFFICE ENTRANCES.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- ON-SITE FIRE MAIN, FIRE SPRINKLER, AND SPRINKLER MONITORING SYSTEM SHALL BE SUBMITTED SEPARATELY TO THE FIRE DEPARTMENT FOR REVIEW AND PERMITTING.
- ALL VERTICAL MOUNTING POLES OF FENCING SHALL BE CAPPED.
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
- ALL INTERIOR AND EXTERIOR WALK SURFACES TO BE NON-SLIP TYPE

SITE PLAN GENERAL NOTES

- | | |
|--|--|
| CONCRETE PAVING. SEE "C" DRWS. FOR THICKNESS | COMPACT PARKING STALL
8' X 16' (14' WITH 2' OVERHANG) |
| STANDARD PARKING STALL (9' X 20') | ACCESSIBLE PARKING STALL (9' X 20') + 5' W/ ACCESSIBLE AISLE
SEE DETAIL 11/AD.1 |
| CLEAN AIR/VANPOOL/EV CONDUIT STUB FOR FUTURE EV | ACCESSIBLE PARKING (VAN) STALL (12' X 20') + 5' W/ ACCESSIBLE AISLE |
| CLEAN AIR/ VANPOOL/EV WITHOUT CONDUIT STUB FOR FUTURE EV | |
| TRAILER PARKING (10' X 53') | |
| LANDSCAPED AREA | PATH OF TRAVEL. MINIMUM WIDTH TO BE 4'. SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND CROSS SLOPE NOT TO EXCEED 2%. SEE CIVIL FOR GRADING PLAN |
| NON-ACCESSIBLE PATH | |

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Consultants:

Civil:
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape:
Fire Protection:
Soils Engineer:

Title:

Bldg. 1 Overall Site Plan

Project Number:

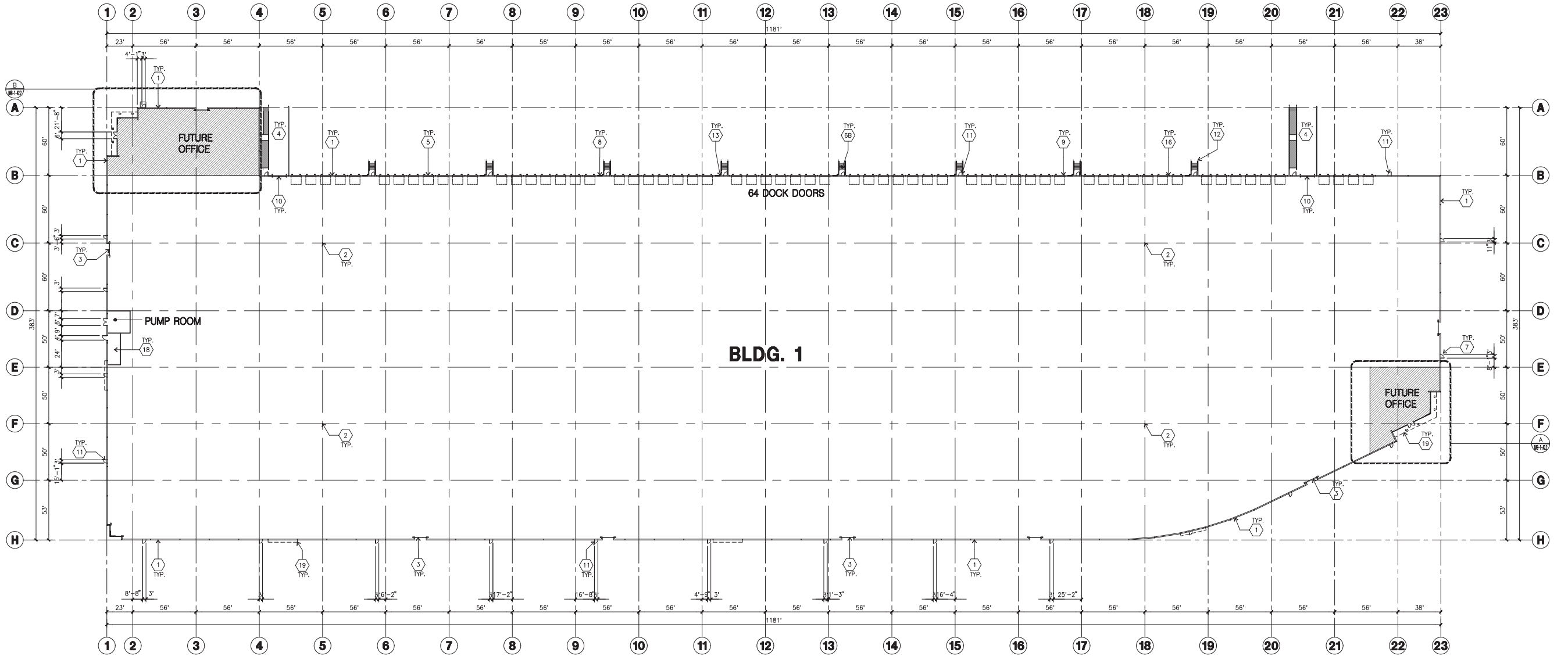
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OVERALL SITE PLAN A
scale: 1"=40'-0"

GENERAL NOTES - FLOOR PLAN

1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' +/- . A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS. INSURE HEAT AND SMOKE VENTS AS REQ'D COMPLY WITH TABLE 910.3 CBC.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL CYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. THE BUILDING FLOOR SLAB IS FLAT/SLOPED, SEE CIVIL.
6. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
7. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
8. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
9. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
10. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET A5.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
11. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
12. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.

KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING, SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF RAMP.
- 5 8' X 10' DOCK DOOR, SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 6 EXTERIOR METAL STEEL STAIR.
- 7 EXTERIOR CONCRETE STAIR.
- 8 5'-6"X5'-6"X4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12' MAX.
- 9 4'X8' METAL LOUVER.
- 10 DOCK DOOR BUMPER.
- 11 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 12 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 13 CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 48"H.
- 14 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
- 15 INTERIOR ROOF DRAIN & OVERFLOW SCUPPERS.
- 16 INTERIOR ROOF DRAIN WITH PIPED OVERFLOW.
- 17 Z GUARD.
- 18 INTERIOR BIKE RACK.
- 19 ELECTRICAL ROOM.
- 20 METAL CANOPY ABOVE.

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Consultants:

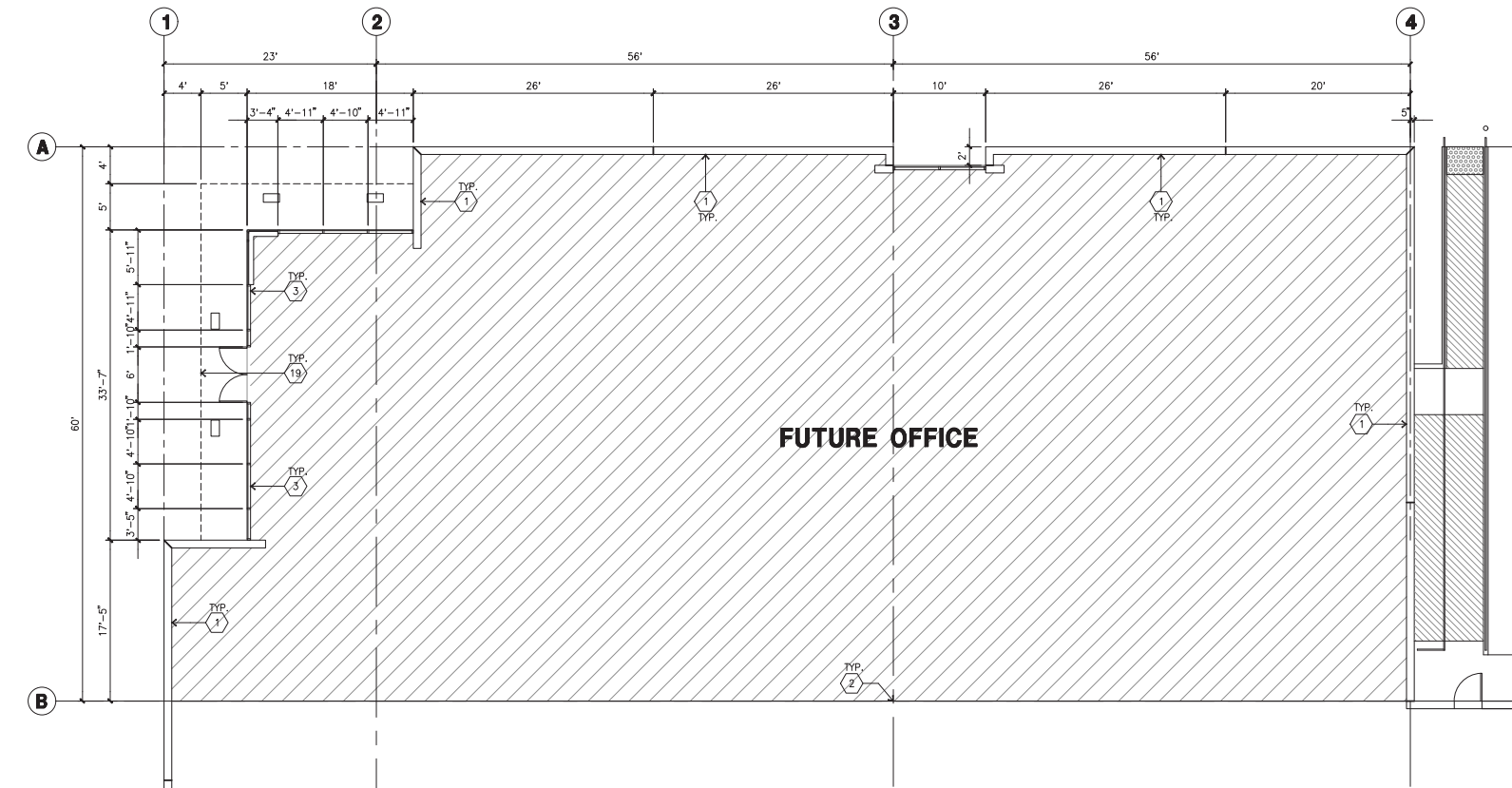
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Mechanical:
Plumbing:
Electrical:
Landscape:
Fire Protection:
Soils Engineer:

Title:
overall floor plan

Project Number:
Drawn by: JS
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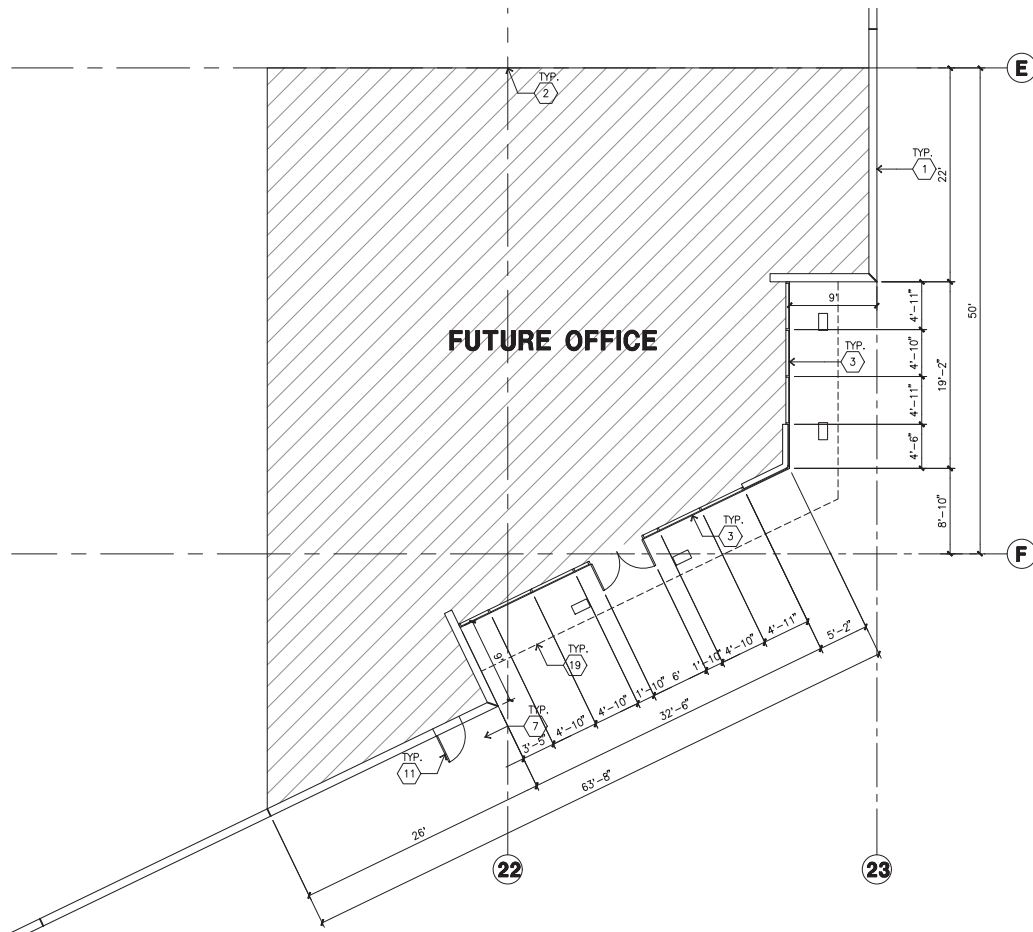
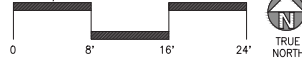
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ENLARGED FLOOR PLAN B

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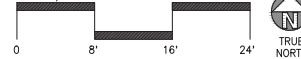
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ENLARGED FLOOR PLAN A

scale: 1/8"=1'-0"

SCALE: 1/8"=1'-0"



GENERAL NOTES - FLOOR PLAN

1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' +/- . A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS. INSURE HEAT AND SMOKE VENTS AS REQ'D COMPLY WITH TABLE 910.3 CBC.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL OYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. THE BUILDING FLOOR SLAB IS FLAT/SLOPED, SEE CIVIL.
6. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
7. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
8. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
9. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
10. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET A5.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
11. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
12. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.

KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING, SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF RAMP.
- 5 8' X 10' DOCK DOOR, SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 6 EXTERIOR METAL STEEL STAIR.
- 7 EXTERIOR CONCRETE STAIR.
- 8 5'-6"X5'-6"X6" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12' MAX.
- 9 4'X8' METAL LOUVER.
- 10 DOCK DOOR BUMPER.
- 11 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 12 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 13 CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 48"H.
- 14 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
- 15 INTERIOR ROOF DRAIN & OVERFLOW SCUPPERS.
- 16 INTERIOR ROOF DRAIN WITH PIPED OVERFLOW.
- 17 Z GUARD.
- 18 INTERIOR BIKE RACK.
- 19 ELECTRICAL ROOM.
- 20 METAL CANOPY ABOVE.

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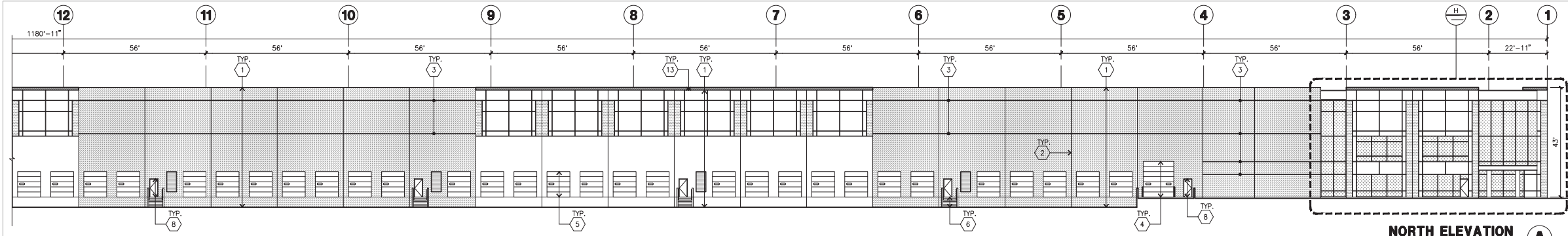
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Plumbing:
Electrical:
Landscape:
Fire Protection:
Soils Engineer:

Title:
overall floor plan

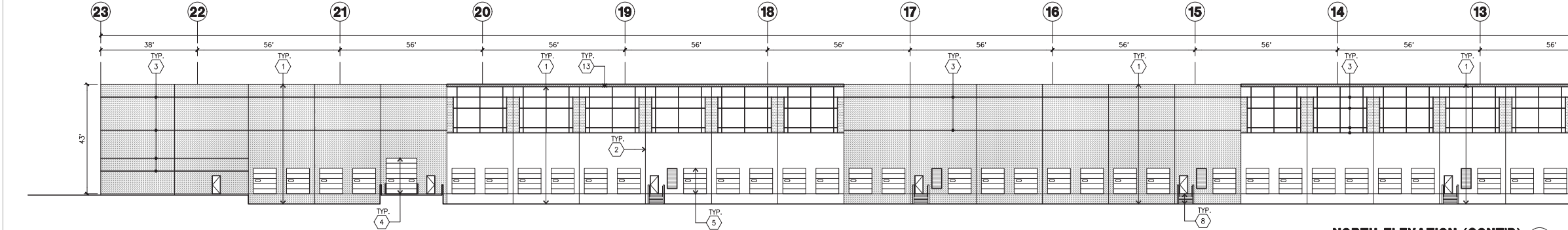
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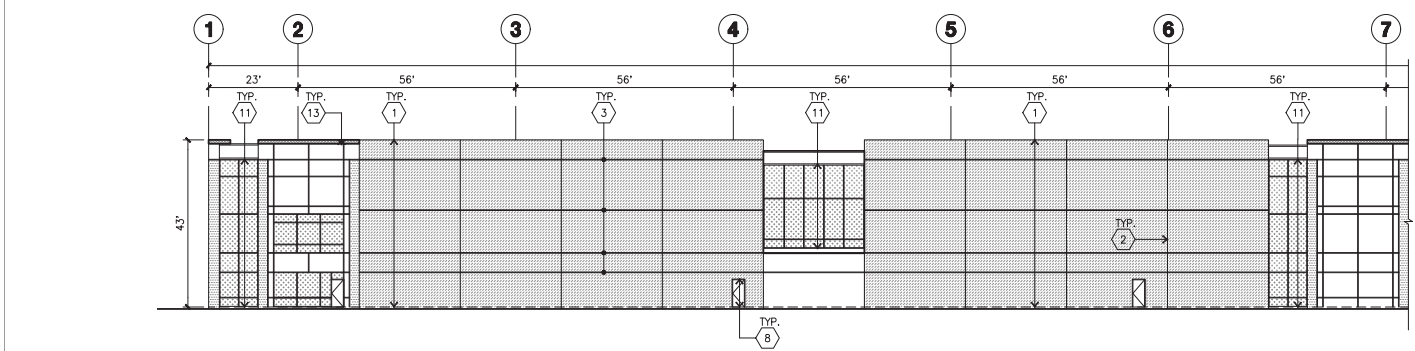
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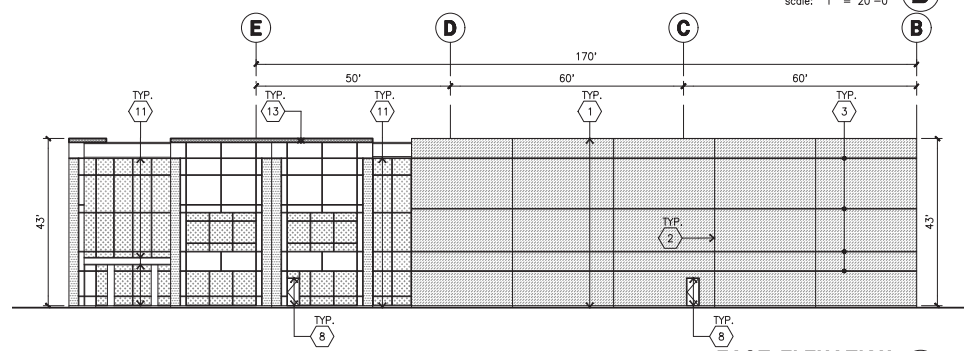
NORTH ELEVATION
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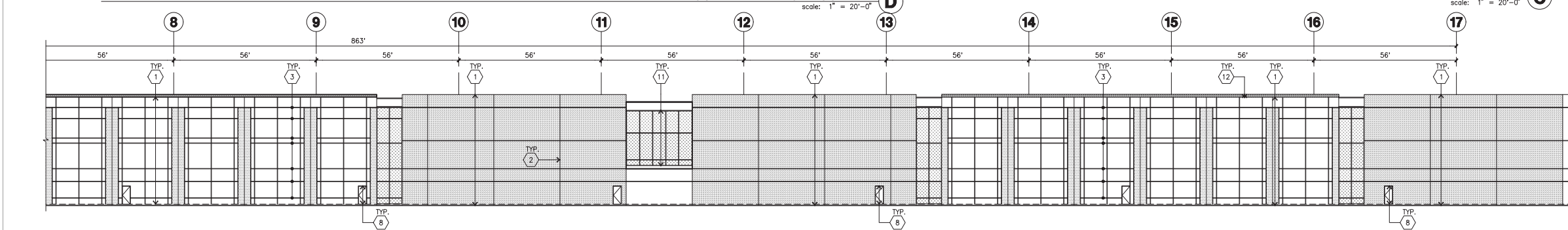
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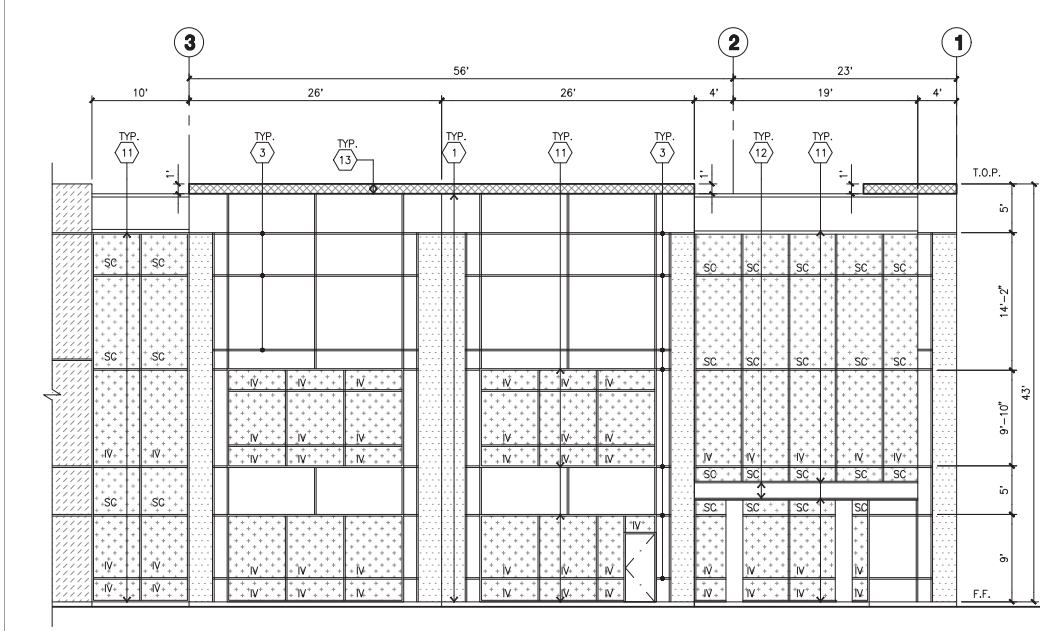
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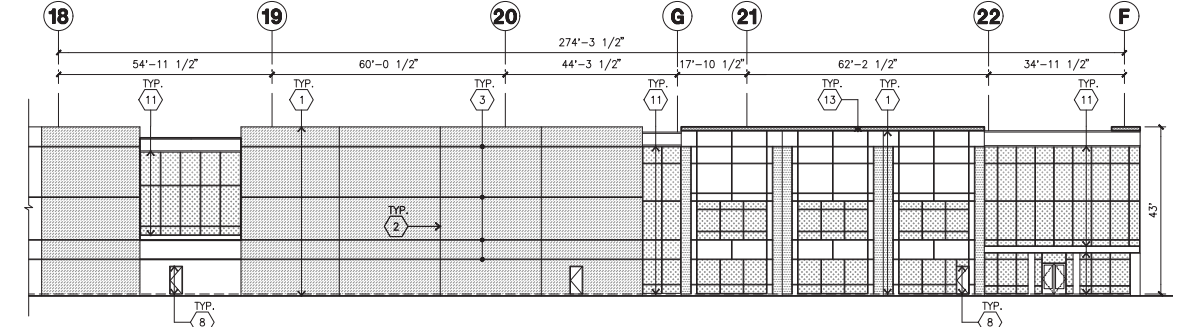
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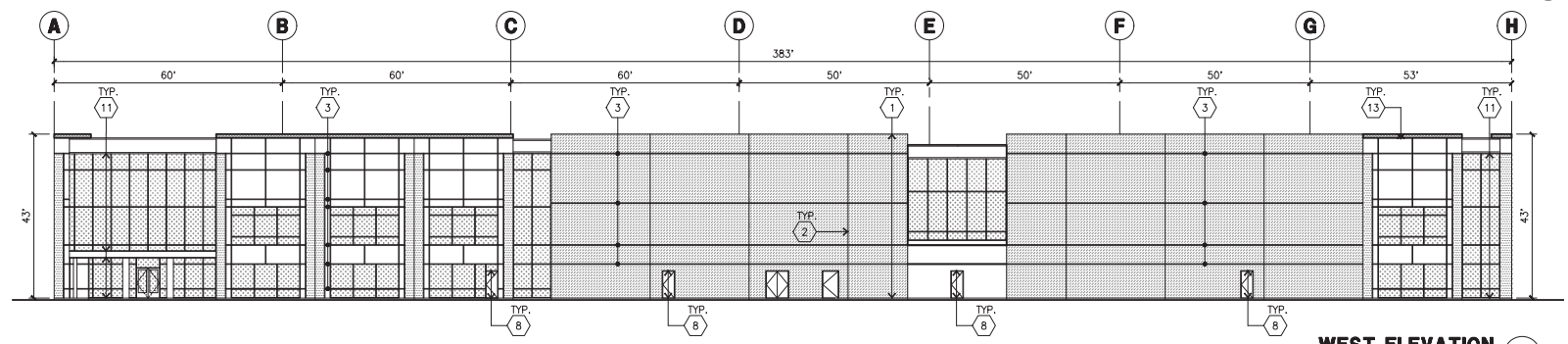
SOUTH ELEVATION (CONT'D)
scale: 1" = 20'-0"



ENLARGED NORTH ELEVATION
scale: 1/8" = 1'-0"



SOUTH EAST ELEVATION
scale: 1" = 20'-0"



WEST ELEVATION
scale: 1" = 20'-0"

KEYNOTES - ELEVATIONS

- CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. SEE SHOP DRAWINGS. WATERPROOF ALL WALLS. WHEN EXTERIOR GRADE IS HIGHER THAN FINISH FLOOR AND EXPOSED, PROVIDE WEATHER, WATERPROOFING TO BE PROTECTED WITH PROTECTION STRIPS AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN.
- PANEL JOINT.
- REVEAL. REVEAL ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL REVEAL TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- OVERHEAD DOOR. DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- OVERHEAD DOOR. DISK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- EXTERIOR METAL STEEL STAIR.
- METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR. EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- DOCK BUMPER.
- ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- METAL TUBE STEEL CANOPY.
- 12" SQ. SHAPED ALUMINUM BY STOREFRONT VENDOR ATTACHED TO CONC. PANEL.

GLAZING LEGEND

NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.

- IV : INSULATED VISION GLASS
SC : SPANDREL GLASS WITH CONCRETE BEHIND

- SC : SPANDREL GLASS WITH CONCRETE BEHIND
SC : SPANDREL GLASS WITH CONCRETE BEHIND

- IV : INSULATED VISION GLASS
1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
U: 0.27 SHGC: 0.2 VLT: 26%
MINIMUM VT TO BE 0.42 PER 2015 CEC TABLE 140.3-B

- SC : SPANDREL WITH CONCRETE BEHIND
1/4" VISTACOL PACIFICA WITH WARM GRAY OPACICAT PAINTED ON REFLECTIVE.
INSTALLED ON CONCRETE.

- V : VISION GLASS
1/4" VISTACOL PACIFICA
MULLIONS : ANODIZED CLEAR.

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
C. T.O.P. EL. = TOP OF PARAPET ELEVATION.
D. F.F. = FINISH FLOOR ELEVATION.
E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST CITY REQUIRED WIND SPEED. EXPOSURE 2. MIN. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
F. CONTRACTOR SHALL FULLY PAINT SEVERAL CONCRETE PANEL W/ SELECTED COLORS. LOCATION TO BE SELECTED BY ARCHITECT. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
J. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
L. EXTERIOR STAIRS AND RAMPS TO MATCH BUILDING COLOR.
RAILINGS TO MATCH BUILDING COLOR.
M. ALL DOORS TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.

ELEVATION COLOR LEGEND/SCHED.

- CONCRETE TILT-UP PANEL COLOR : SHERWIN WILLIAMS SW-7006 "EXTRA WHITE"
- CONCRETE TILT-UP PANEL COLOR : SHERWIN WILLIAMS SW-7658 "GRAY CLOUDS"
- CONCRETE TILT-UP PANEL COLOR : SHERWIN WILLIAMS SW-7669 "SUMMIT GRAY"
- CONCRETE TILT-UP PANEL COLOR : SHERWIN WILLIAMS SW-7006 "EXTRA WHITE" WITH CONCRETE FORM LINER.
- MULLIONS COLOR : CLEAR ANODIZED ALUMINUM
- GLAZING COLOR : BLUE GLAZING
- CANOPY MATERIAL : SHAPED ALUMINUM MULLION COLOR
- DOOR COLORS : MATCH BUILDING COLOR

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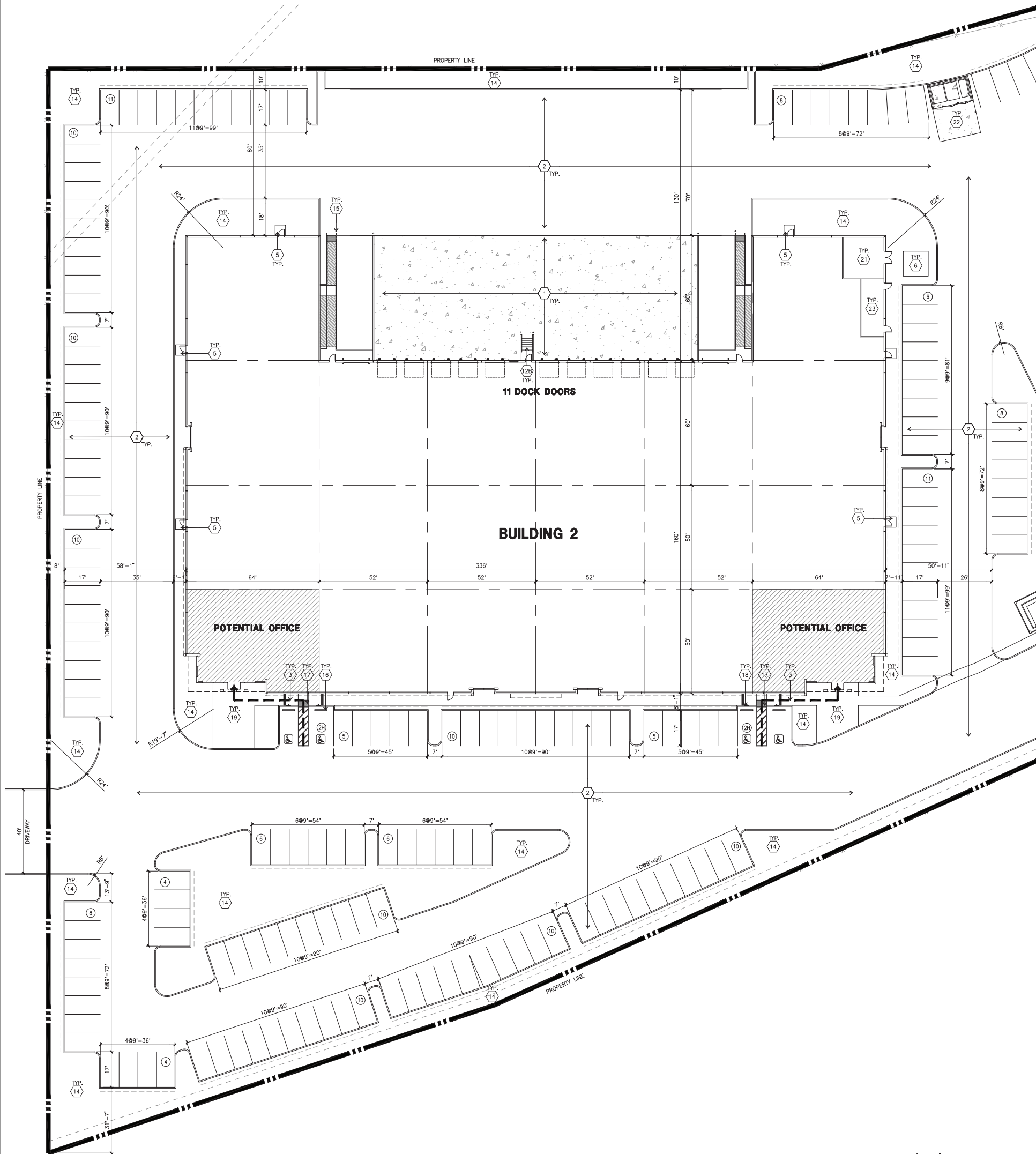
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Fire Protection:
Soils Engineer:

Title:
Elevations

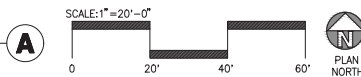
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OVERALL SITE PLAN
scale: 1"=20'-0"



SITE PLAN KEYNOTES

1. HEAVY BROOM FINISH CONCRETE PAVEMENT.
2. ASPHALT CONCRETE (AC) PAVING
3. ACCESSIBLE PATH OF TRAVEL
4. DRIVEWAY APRONS
5. 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH SLOPE TO BE 1/4" : 12" MAX.
6. APPROXIMATE LOCATION OF TRANSFORMER. CONTRACTOR TO VERIFY
- 7A. 8" HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT
- 7B. 6' HIGH CHAIN LINK FENCE
- 7C. METAL FENCE
8. CONCRETE WALKWAY, MEDIUM BROOM FINISH.
9. CONCRETE RAMP WITH CONCRETE GUARD WALL.
10. BIKE RACK.
11. FUTURE ELECTRIC VEHICLE CHARGER.
- 12A. EXTERIOR METAL STEEL STAIR.
- 12B. EXTERIOR CONCRETE STEEL STAIR.
13. 12' x 14' DRIVE-IN DOOR
14. LANDSCAPE.
15. CONC. FILLED GUARD POST 6" DIA. U.N.O. 48" H.
16. PRE-CAST CONC. WHEEL STOP.
17. TRUNCATED DOMES.
18. ACCESSIBLE PARKING STALL SIGN.
19. HARDSCAPE AT ENTRANCE.
20. ACCESSIBLE ENTRY SIGN.
21. PUMP ROOM.
22. TRASH ENCLOSURE.
23. ELECTRICAL ROOM.
24. CONCRETE DOLLY PAD.
25. SMOKING AREA.
26. EXTERIOR EMPLOYEE BREAK AREA.
27. EXTERIOR PARKING LIGHT POLE.
28. STORM TREATMENT SEE CIVIL

SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY GEOTECHNICAL ENGINEER, DATE, PROJECT NUMBER #
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES
5. PROVIDE STRUCTURAL CALCULATION AND CONSTRUCTION ANCHORAGE DETAIL FOR TRANSFORMER PRIOR TO INSTALLATION.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH
11. U.N.O. PROVIDE KNOX BOXES AT ALL OFFICE ENTRANCES.
12. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
13. ON-SITE FIRE MAIN, FIRE SPRINKLER, AND SPRINKLER MONITORING SYSTEM SHALL BE SUBMITTED SEPARATELY TO THE FIRE DEPARTMENT FOR REVIEW AND PERMITTING.
14. ALL VERTICAL MOUNTING POLES OF FENCING SHALL BE CAPPED.
15. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
16. ALL INTERIOR AND EXTERIOR WALK SURFACES TO BE NON-SLIP TYPE

SITE PLAN GENERAL NOTES

- CONCRETE PAVING, SEE "C" DRWS. FOR THICKNESS
- STANDARD PARKING STALL (9' X 20')
- CLEAN AIR/ VANPOOL/ EV CONDUIT STUB FOR FUTURE EV
- CLEAN AIR/ VANPOOL/ EV WITHOUT CONDUIT STUB FOR FUTURE EV
- TRAILER PARKING (10' X 53')
- LANDSCAPED AREA
- NON-ACCESSIBLE PATH
- COMPACT PARKING STALL 8' X 16' (14' WITH 2' OVERHANG)
- ACCESSIBLE PARKING STALL (9' X 20') + 5' W/ ACCESSIBLE AISLE
- ACCESSIBLE PARKING (VAN) STALL (12' X 20') + 5' W/ ACCESSIBLE AISLE
- PATH OF TRAVEL, MINIMUM WIDTH TO BE 4'. SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND CROSS SLOPE NOT TO EXCEED 2%. SEE CIVIL FOR GRADING PLAN

AERIAL MAP



PROJECT DATA

BLDG. 2	
SITE AREA	
In s.f.	s.f.
In acres	ac
BUILDING AREA	
Office	5,000 s.f.
Warehouse	55,882 s.f.
TOTAL	60,882 s.f.
COVERAGE	
AUTO PARKING REQUIRED	
Office: 1,250 s.f.	20 stalls
Vehicle: 112,000 s.f.	28 stalls
TOTAL	48 stalls
AUTO PARKING PROVIDED	
Standard (9' x 19')	175 stalls
TRAILER PARKING PROVIDED	
Trailer (10' x 53')	0 stalls
ZONING ORDINANCE FOR CITY	
Zoning Designation - Industrial (I)	
MAXIMUM BUILDING HEIGHT ALLOWED	
Height - No limit, Office-47	
MAXIMUM LOT COVERAGE	
Coverage - No limit	
SETBACKS	
side/Rear - None	

tel:
fax:
email:

Owner:

tel:

Project:

Consultants:

Civil:
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape:
Fire Protection:
Soils Engineer:

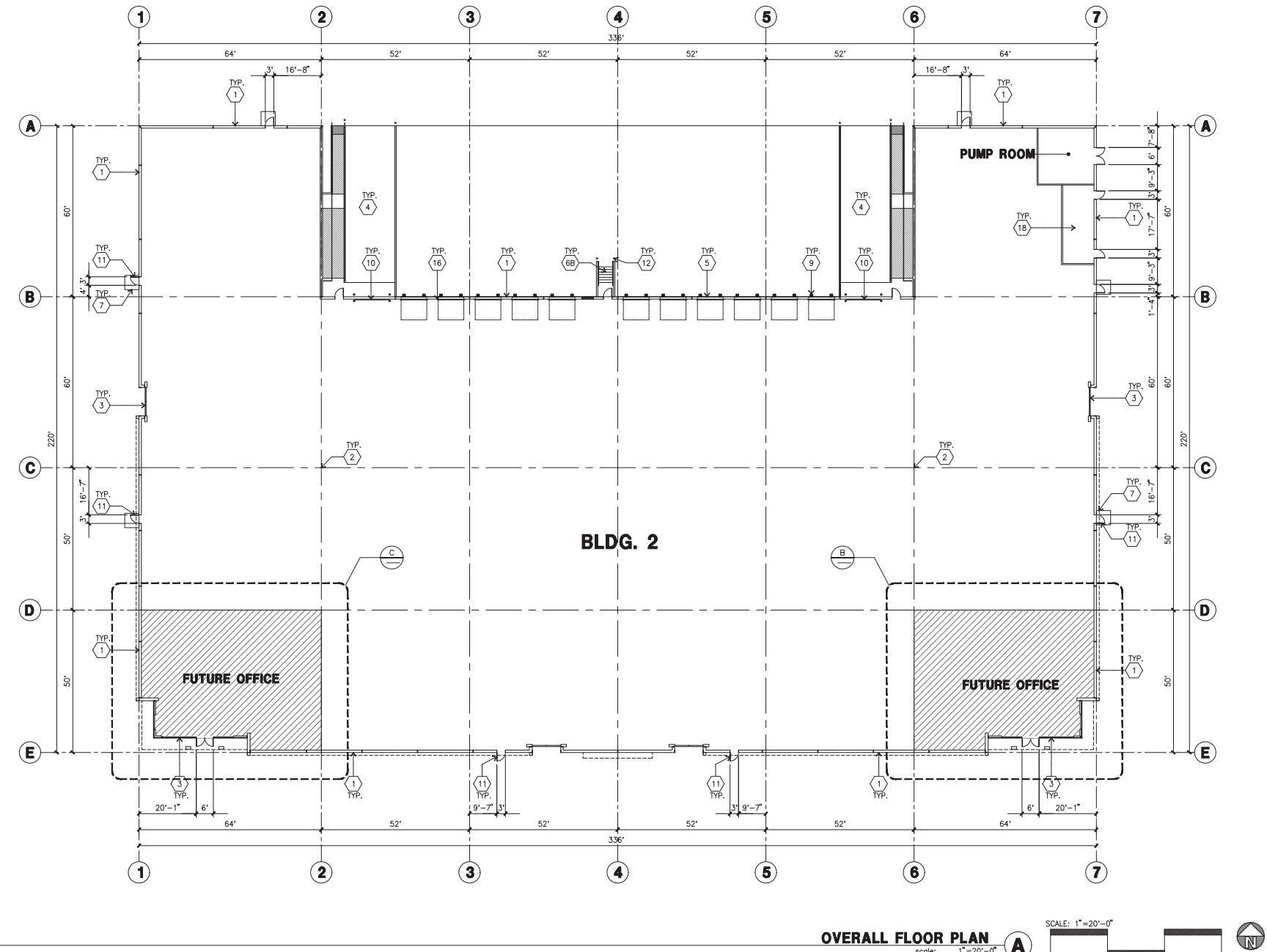
Title:
Overall Site Plan

Project Number:
Drawn by: JS
Date: 02/15/2019
Revision:

Sheet:

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DAB-2-A1.1

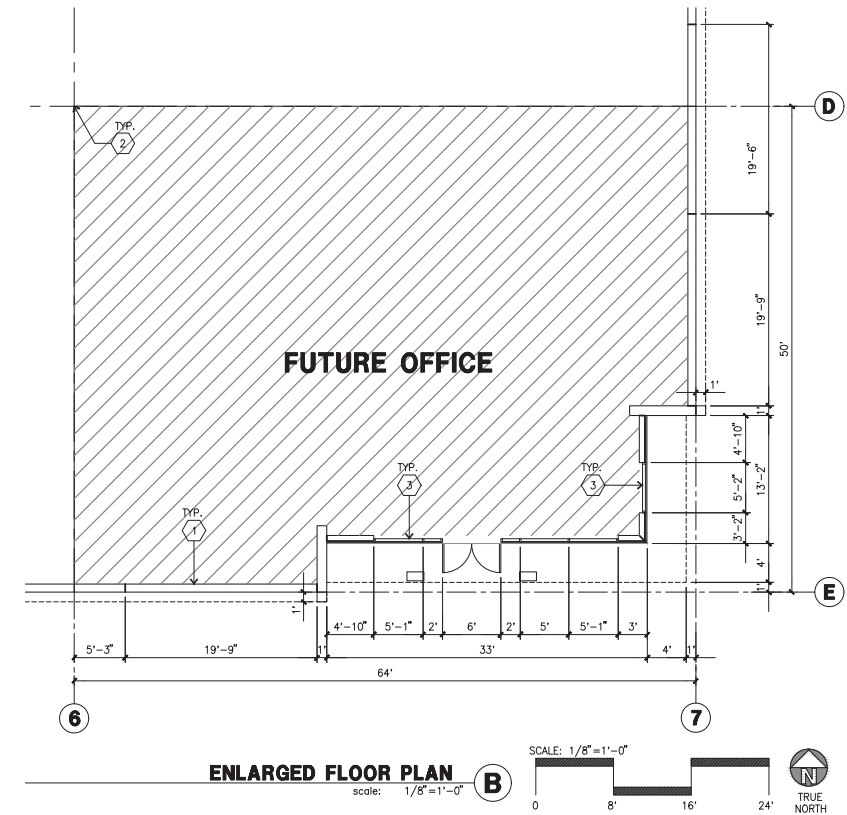
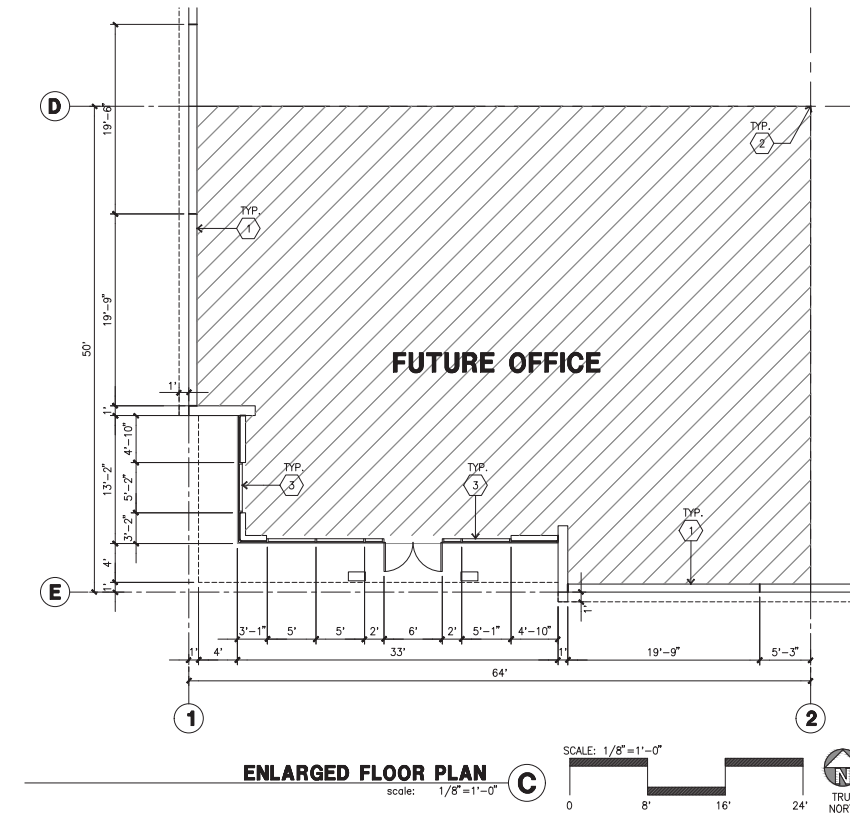


KEYNOTES - FLOOR PLAN

- CONCRETE TILT-UP PANEL.
- STRUCTURAL STEEL COLUMN.
- TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF RAMP.
- 9' X 10' DOCK DOOR, SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- EXTERIOR METAL STEEL STAIR.
- EXTERIOR CONCRETE STAIR.
- 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12' MAX.
- 4'X8' METAL LOUVER.
- DOCK DOOR BUMPER.
- 12' X 14' DRIVE THRU, SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 48"H.
- EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
- INTERIOR ROOF DRAIN & OVERFLOW SCUPPERS.
- INTERIOR ROOF DRAIN WITH PIPED OVERFLOW.
- Z GUARD.
- INTERIOR BIKE RACK.
- ELECTRICAL ROOM.
- METAL CANOPY ABOVE.

GENERAL NOTES - FLOOR PLAN

- THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' +/-, A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS. INSURE HEAT AND SMOKE VENTS AS REQ'D COMPLY WITH TABLE 910.3 CBC.
- FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL O.P. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- THE BUILDING FLOOR SLAB IS FLAT/SLOPED, SEE CIVIL.
- SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "C" DRAWINGS FOR POUR STRIP LOCATION.
- PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET A5.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.



tel:
fax:
email:

Owner:

tel:

Project:

Consultants:

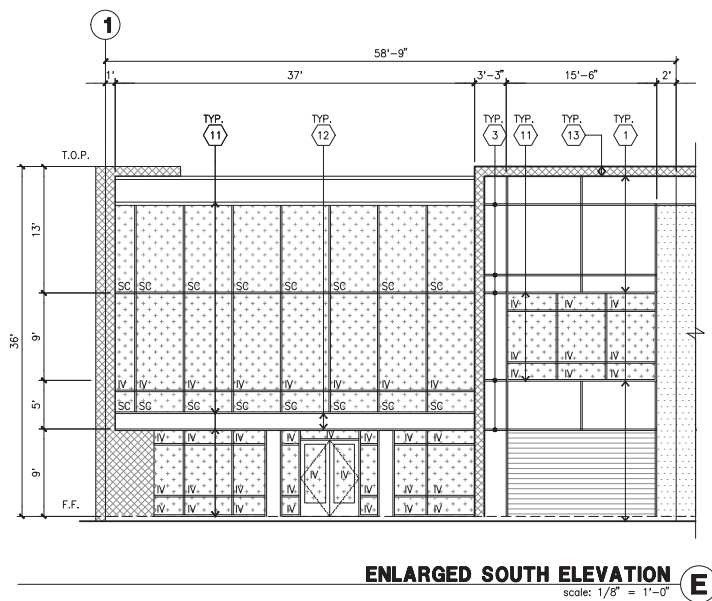
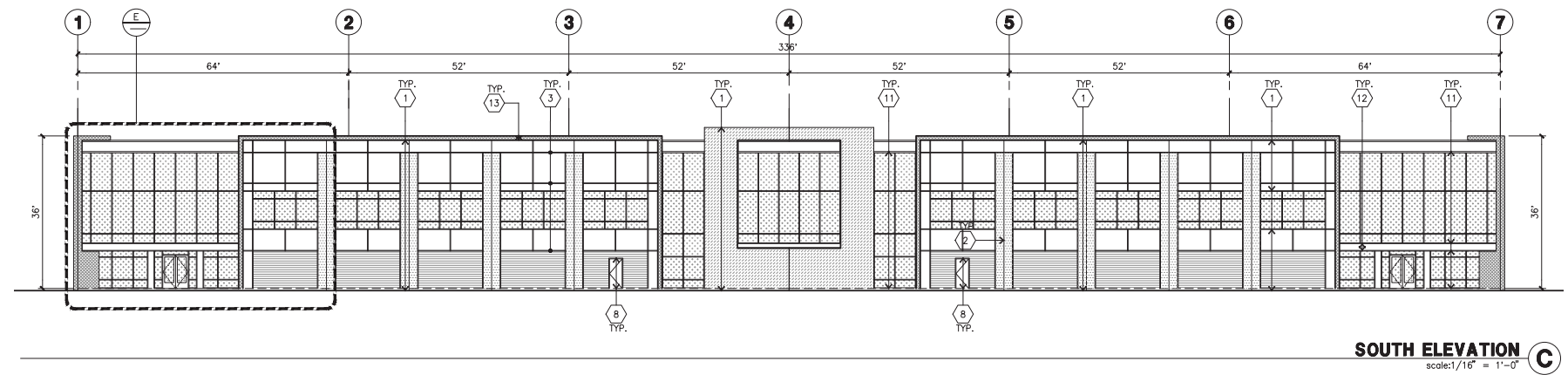
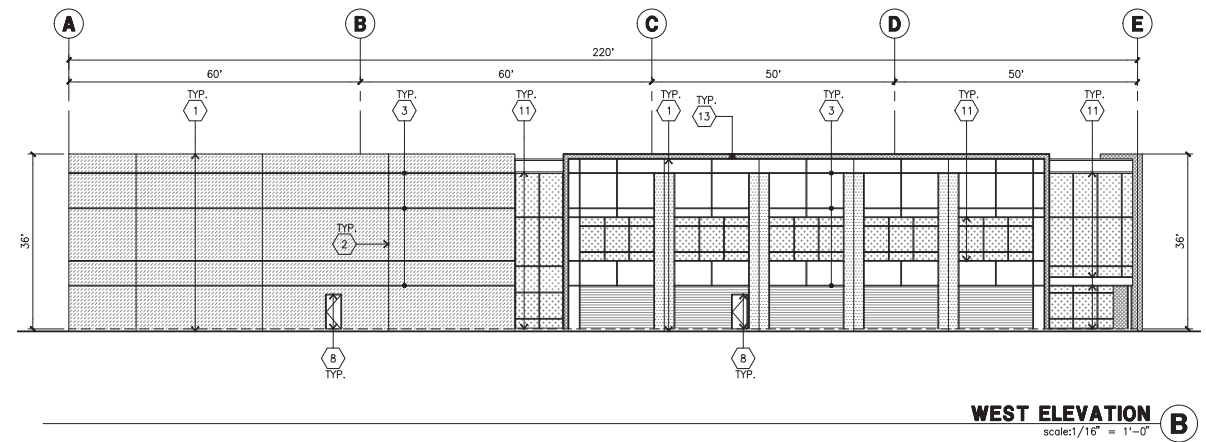
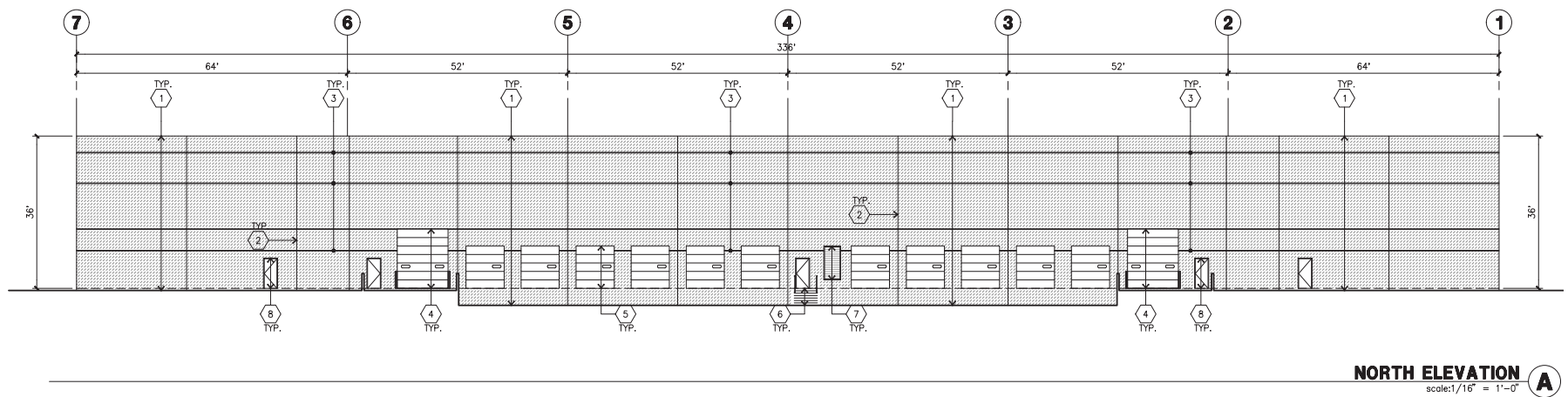
Civil:
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape:
Fire Protection:
Soils Engineer:

Title:
OVERALL FLOOR PLAN

Project Number:
Drawn by: JS
Date: 02/15/2019
Revision:

Sheet:

DAB-2-A2.1



KEYNOTES - ELEVATIONS

- (1) CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. SEE 'C' DRAWINGS. WATERPROOF ALL WALLS WHERE EXTERIOR GRADE IS HIGHER THAN FINISH FLOOR AND EXPOSED TO THE WEATHER. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN.
- (2) PANEL JOINT.
- (3) PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- (4) OVERHEAD DOOR. DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- (5) OVERHEAD DOOR. DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- (6) EXTERIOR METAL STEEL STAIR.
- (7) METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- (8) HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- (9A) EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- (10) DOCK BUMPER.
- (11) ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- (12) METAL TUBE STEEL CANOPY.
- (13) 12" SQ. SHAPED ALUMINUM BY STOREFRONT VENDOR ATTACHED TO CONC. PANEL.

GLAZING LEGEND

NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.

- INSULATED VISION GLASS
SPANDREL GLASS WITH CONCRETE BEHIND
SINGLE LITE VISION GLASS
IV : INSULATED VISION GLASS
1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
U: 0.21 SHG: 0.21 VLT: 26%
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B
SC : SPANDREL WITH CONCRETE BEHIND
1/4" VISTACOL PACIFICA
V : VISION GLASS
1/4" VISTACOL PACIFICA
MULLIONS : ANODIZED CLEAR.

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
C. T.O.P. EL. = TOP OF PARAPET ELEVATION.
D. F.F. = FINISH FLOOR ELEVATION.
E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST CITY REQUIRED WIND SPEED EXPOSURE WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
F. CONTRACTOR SHALL FULLY PAINT SEVERAL CONCRETE PANEL W/ SELECTED COLORS. LOCATION TO BE SELECTED BY ARCHITECT. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE. J. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
L. EXTERIOR STAIRS AND RAMPS TO MATCH BUILDING COLOR.
M. ALL DOORS TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.

ELEVATION COLOR LEGEND/SCHED.

- (1) CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW-7006 "EXTRA WHITE".
- (2) CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW-7658 "GRAY CLOUDS".
- (3) CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW-7669 "SUMMIT GRAY".
- (4) CONCRETE TILT-UP PANEL. COLOR : SHERWIN WILLIAMS SW-7006 "EXTRA WHITE" WITH CONCRETE FORM LINER.
- (5) MULLIONS COLOR : CLEAR ANODIZED ALUMINUM.
- (6) GLAZING COLOR : BLUE GLAZING.
- (7) CANOPY MATERIAL : SHAPED ALUMINUM MULLION COLOR.
- (8) DOOR COLORS : MATCH BUILDING COLOR.

tel:
fax:
email:

Owner:

tel:

Project:

Consultants:

Civil:
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape:
Fire Protection:
Soils Engineer:

Title:

Elevations

Project Number:

Drawn by:

JS

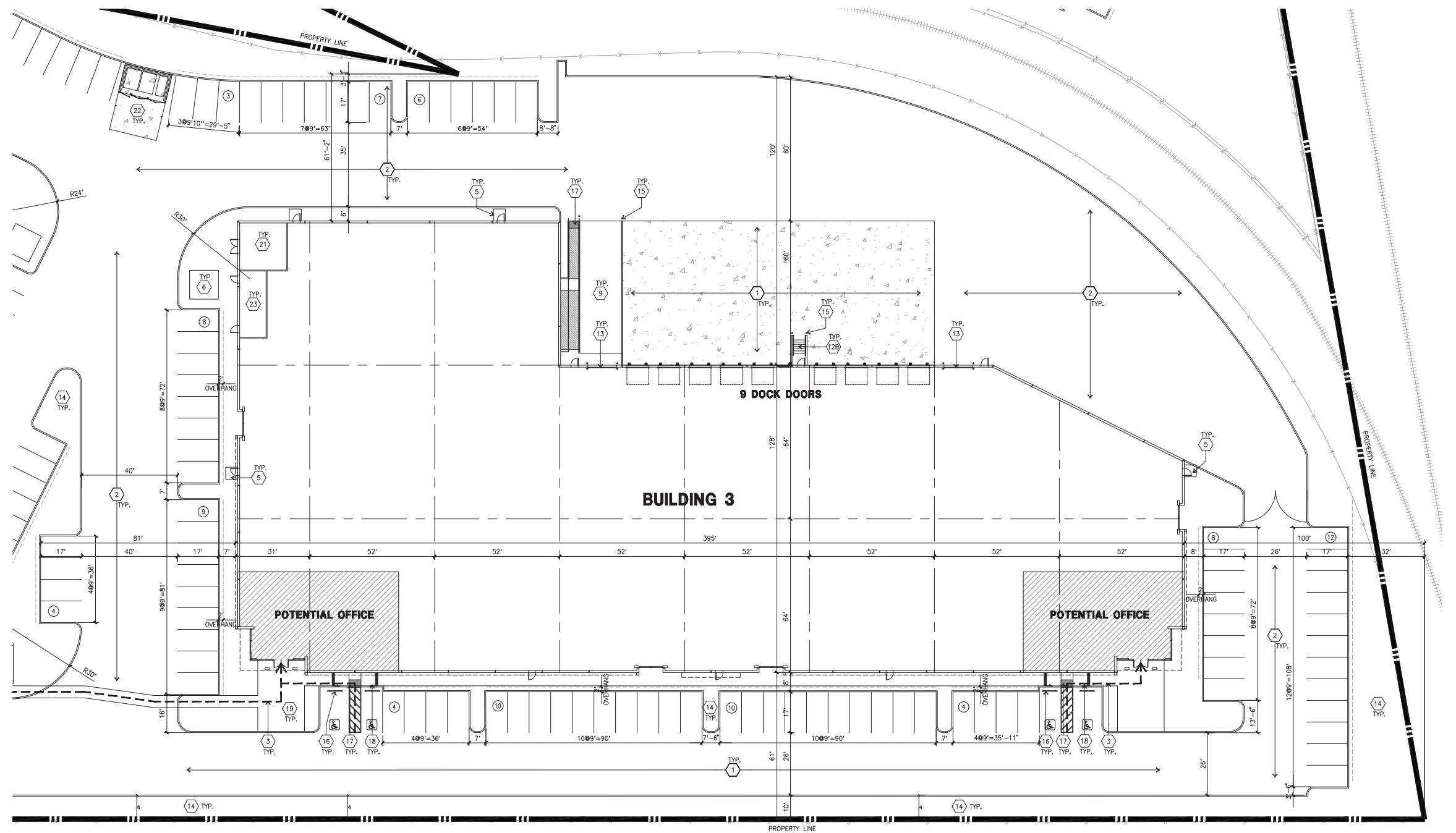
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02/15/2019

Revision:

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tel:
fax:
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Owner:

Project:

Consultants:

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Structural:
Mechanical:
Plumbing:
Electrical:
Landscape:
Fire Protection:
Soils Engineer:

Title:

Overall Site Plan

Project Number:

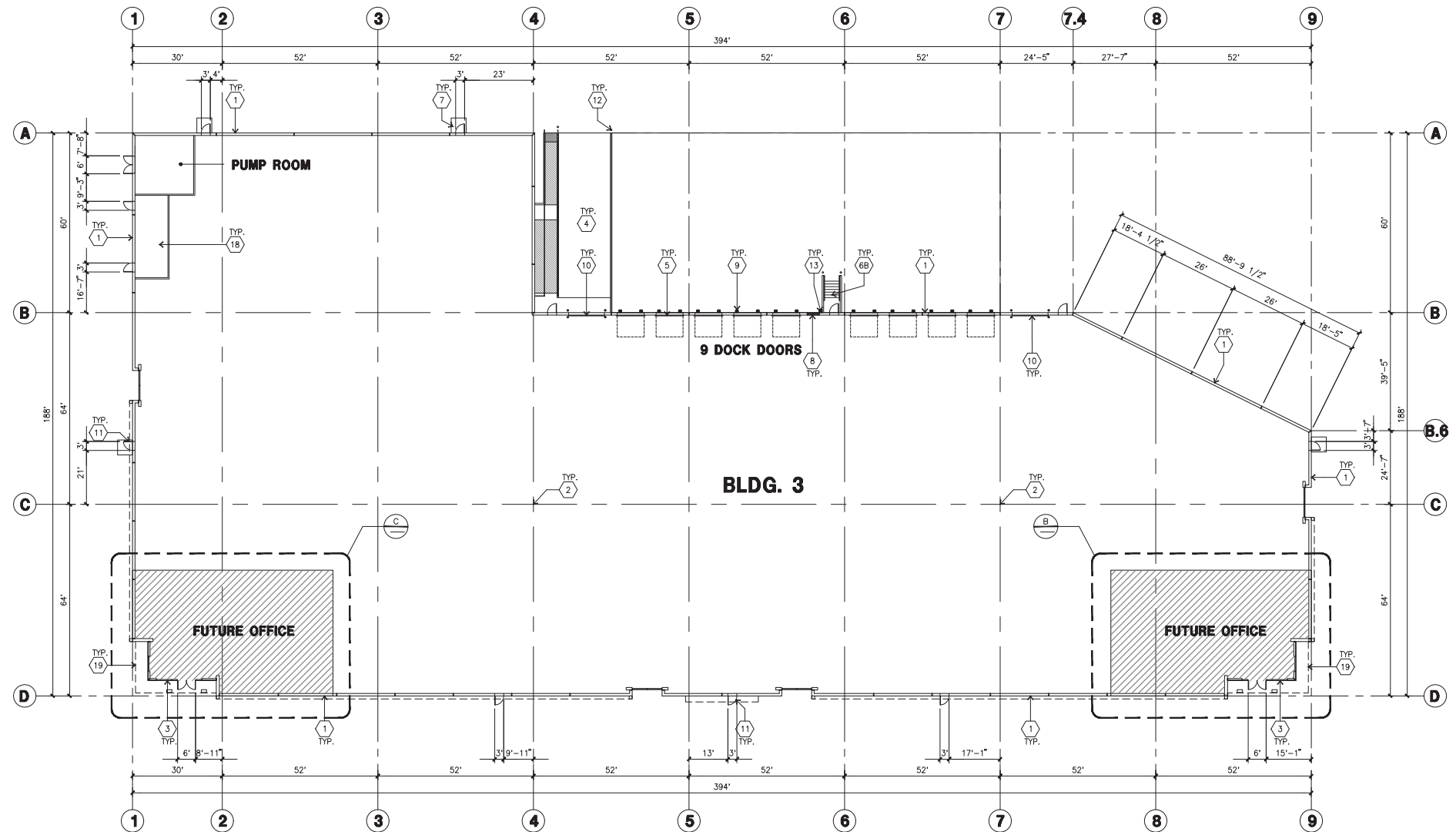
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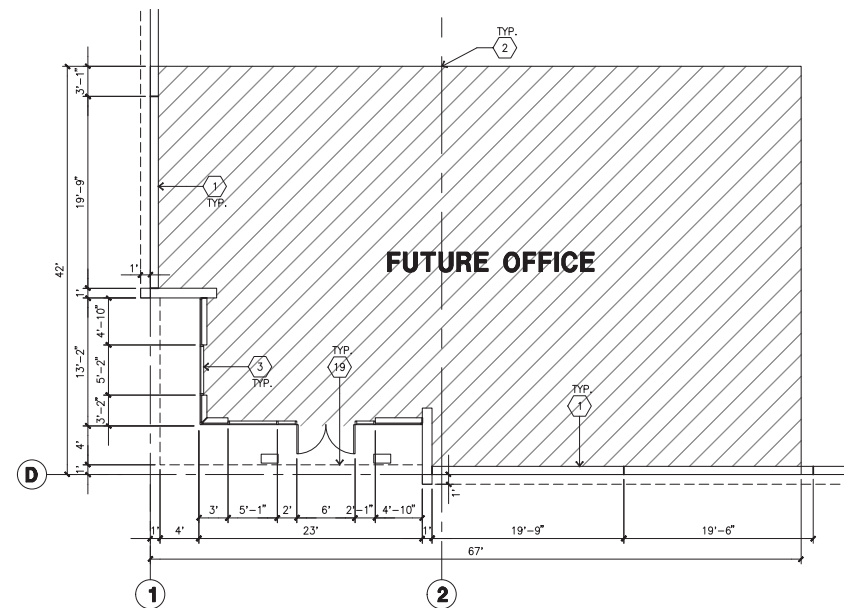


KEYNOTES - FLOOR PLAN

- (1) CONCRETE TILT-UP PANEL.
- (2) STRUCTURAL STEEL COLUMN.
- (3) TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- (4) CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF RAMP.
- (5) 8' X 10' DOCK DOOR SECTIONAL, STANDARD GRADE.
- (6) DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- (6A) EXTERIOR METAL STEEL STAIR.
- (6B) EXTERIOR CONCRETE STAIR.
- (7) 5'-6"X5'-6"X4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12' MAX.
- (8) 4'X8' METAL LOUVER.
- (9) DOCK DOOR BUMPER.
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- (12) CONC. FILLED GUARD POST. 6" DIA. U.N.O. 48"H.
- (13) EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
- (14) INTERIOR ROOF DRAIN & OVERFLOW SCUPPERS.
- (15) INTERIOR ROOF DRAIN WITH PIPED OVERFLOW.
- (16) Z GUARD.
- (17) INTERIOR BIKE RACK.
- (18) ELECTRICAL ROOM.
- (19) METAL CANOPY ABOVE.

GENERAL NOTES - FLOOR PLAN

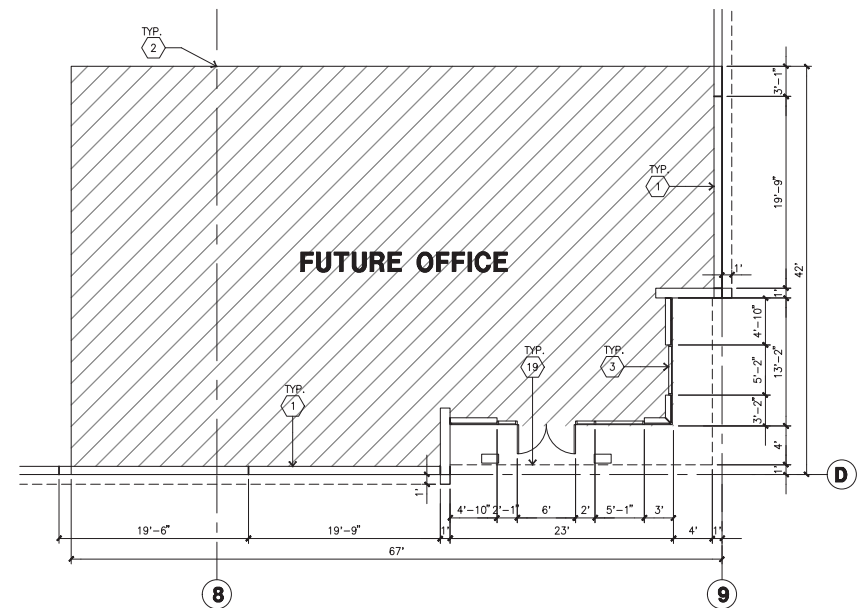
1. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' +/- . A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS. INSURE HEAT AND SMOKE VENTS AS REQ'D COMPLY WITH TABLE 910.3 CBC.
2. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
3. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
4. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
5. THE BUILDING FLOOR SLAB IS FLAT/SLOPED. SEE CIVIL.
6. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
7. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
8. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
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10. FOR DOOR TYPES AND SIZES. SEE DETAIL SHEET A5.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
11. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
12. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.



ENLARGED FLOOR PLAN

scale: 1/8"=1'-0"

SCALE: 1/8"=1'-0"



ENLARGED FLOOR PLAN

scale: 1/8"=1'-0"

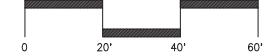
SCALE: 1/8"=1'-0"



OVERALL FLOOR PLAN

scale: 1"=20'-0"

SCALE: 1"=20'-0"



Owner:

Project:

Consultants:

Civil:
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape:
Fire Protection:
Soils Engineer:

Title: overall floor plan

Project Number:

Drawn by: JS

Date: 02/15/2019

Revision:

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Owner:

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Project:

Consultants:

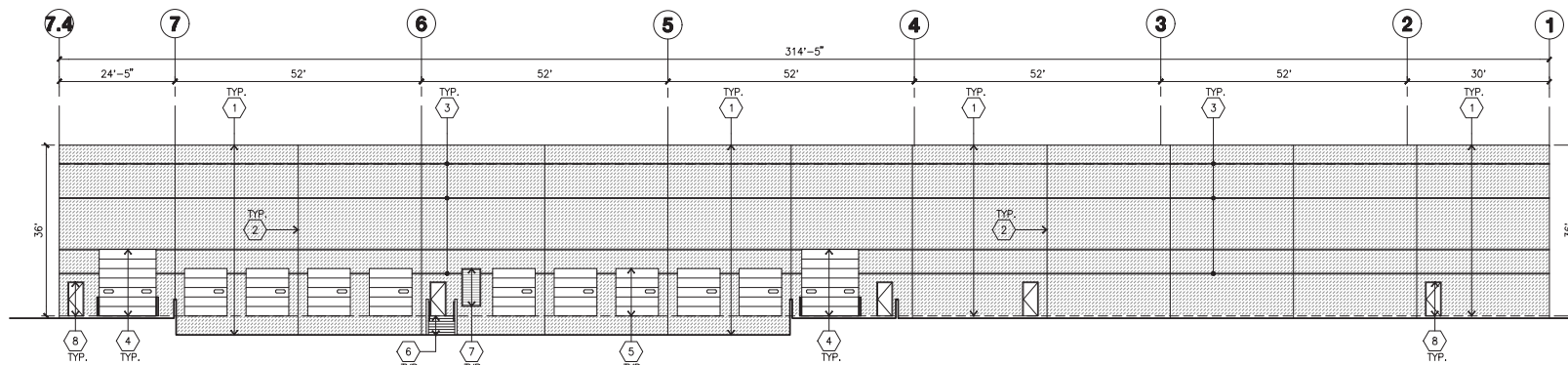
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Mechanical:
Plumbing:
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Fire Protection:
Soils Engineer:

Title: Elevations

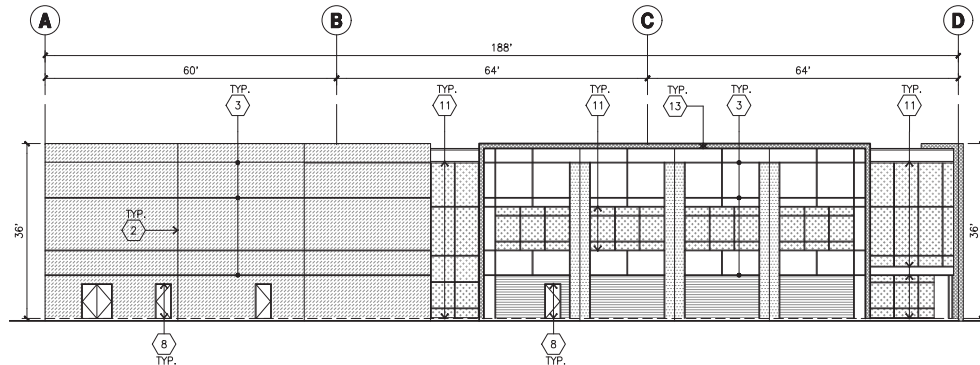
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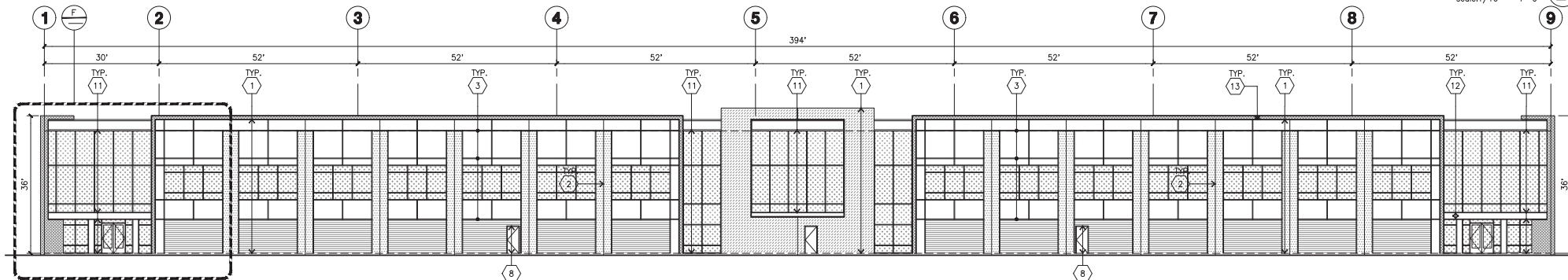
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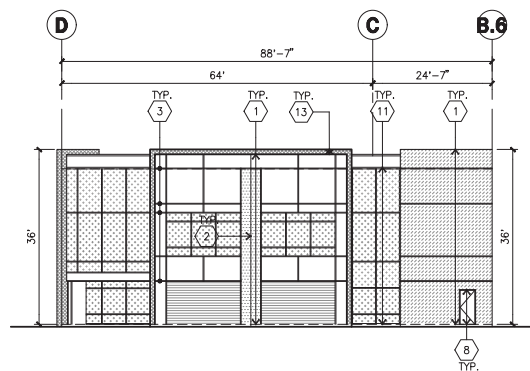
NORTH ELEVATION
scale: 1/16" = 1'-0"



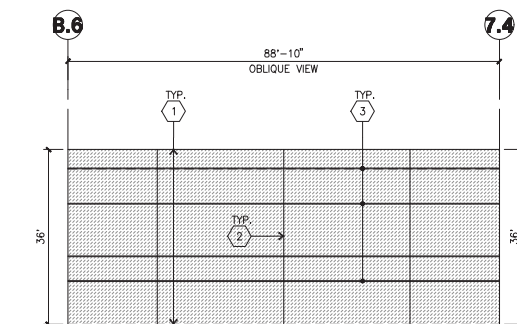
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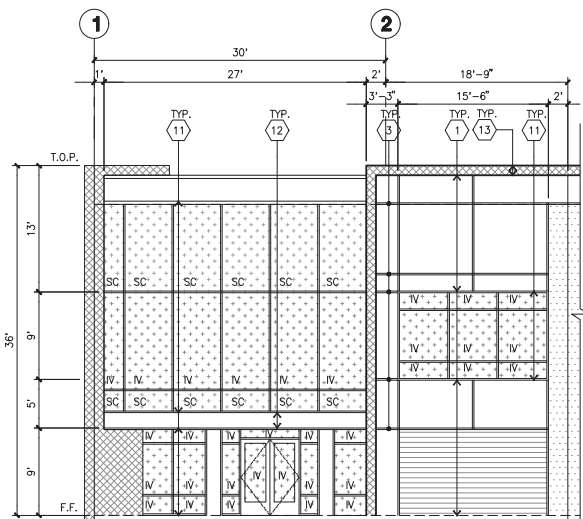
SOUTH ELEVATION
scale: 1/16" = 1'-0"



EAST ELEVATION
scale: 1/16" = 1'-0"



NORTHEAST ELEVATION
scale: 1/16" = 1'-0"



ENLARGED SOUTH ELEVATION
scale: 1/8" = 1'-0"

KEYNOTES - ELEVATIONS

- CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE VARIES. SEE C DRAWINGS. WATERPROOF ALL WALLS WHERE EXTERIOR GRADE IS HIGHER THAN FINISH FLOOR AND EXPOSED TO THE WEATHER. WEATHERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE FRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN.
- PANEL JOINT.
- PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- OVERHEAD DOOR & DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- OVERHEAD DOOR & DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- EXTERIOR METAL STEEL STAIR.
- METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
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- ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- METAL TUBE STEEL CANOPY.
- 12" SQ. SHAPED ALUMINUM BY STOREFRONT VENDOR ATTACHED TO CONC. PANEL.

GLAZING LEGEND

NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.

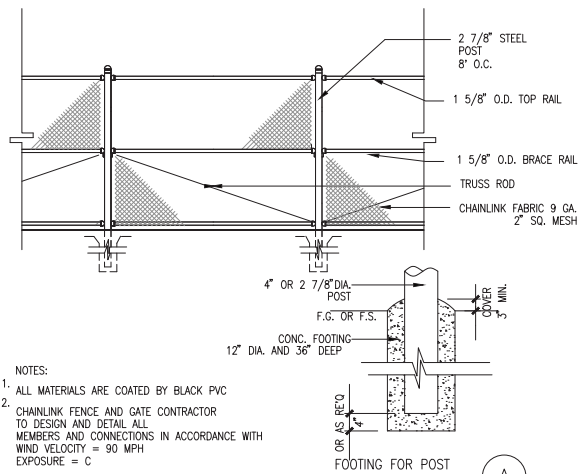
- INSULATED VISION GLASS
- SPANDREL GLASS WITH CONCRETE BEHIND
- SINGLE LITE VISION GLASS
- IV : INSULATED VISION GLASS
1/4" VISTACOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
U: 0.27 SPGC: 0.21 VLT: 26%
MINIMUM VT TO BE 0.40 PER 2014 CEC TABLE 140.3-B
- SC : SPANDREL WITH CONCRETE BEHIND
1/4" VISTACOL PACIFICA WITH WARM GRAY OPACICOAT PAINTED ON REFLECTIVE.
INSTALLED ON CONCRETE.
- V : VISION GLASS
1/4" VISTACOL PACIFICA
- MULLIONS : ANODIZED CLEAR.

GENERAL NOTES - ELEVATIONS

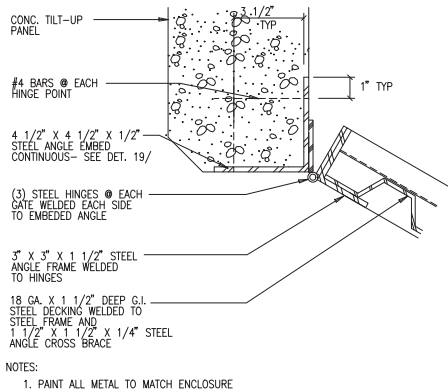
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND UNITS SHALL BE DESIGNED TO RESIST CITY REQUIRED WIND SPEED EXPOSURE OF BUILDING.
- F. CONTRACTOR SHALL FULLY PAINT SEVERAL CONCRETE PANEL W/ SELECTED COLORS. LOCATION TO BE SELECTED BY ARCHITECT. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.
- L. EXTERIOR STAIRS AND RAMPS TO MATCH BUILDING COLOR. RAILINGS TO MATCH BUILDING COLOR.
- M. ALL DOORS TO BE PAINTED THE SAME COLOR AS THE ADJACENT WALL.

ELEVATION COLOR LEGEND/SCHED.

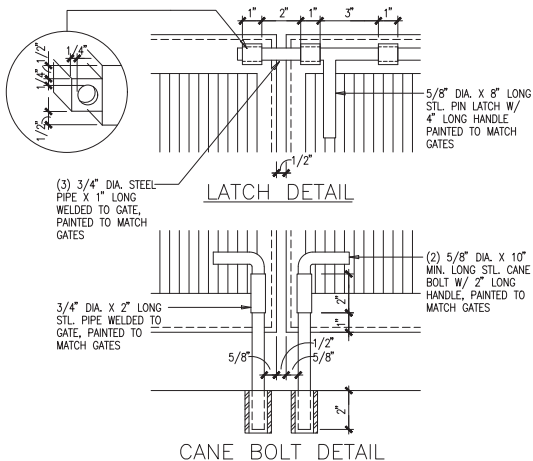
- CONCRETE TILT-UP PANEL COLOR : SHERWIN WILLIAMS SW-7006 "EXTRA WHITE"
- CONCRETE TILT-UP PANEL COLOR : SHERWIN WILLIAMS SW-7658 "GRAY CLOUDS"
- CONCRETE TILT-UP PANEL COLOR : SHERWIN WILLIAMS SW-7669 "SUMMIT GRAY"
- CONCRETE TILT-UP PANEL COLOR : SHERWIN WILLIAMS SW-7006 "EXTRA WHITE" WITH CONCRETE FORM LINER.
- MULLIONS COLOR : CLEAR ANODIZED ALUMINUM
- GLAZING COLOR : BLUE GLAZING
- CANOPY MATERIAL : SHAPED ALUMINUM MULLION COLOR
- DOOR COLORS : MATCH BUILDING COLOR



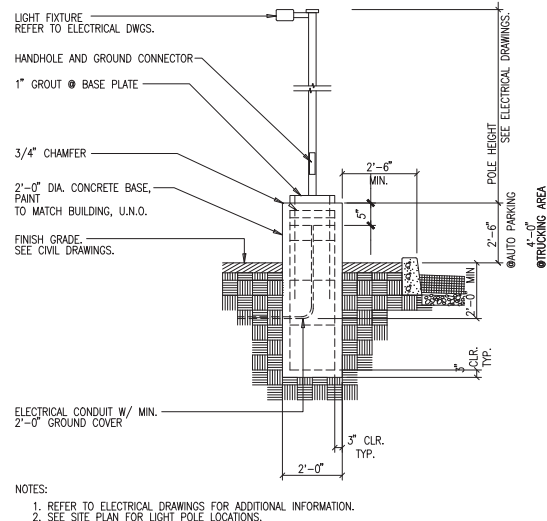
TYPICAL CHAIN-LINK FENCE



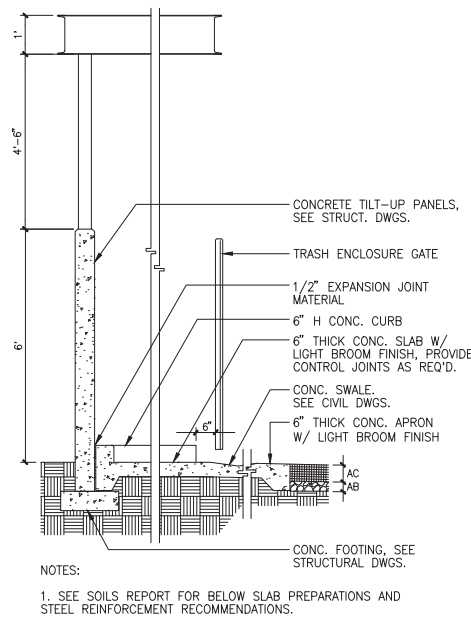
TRASH ENCLOSURE GATE & HINGE



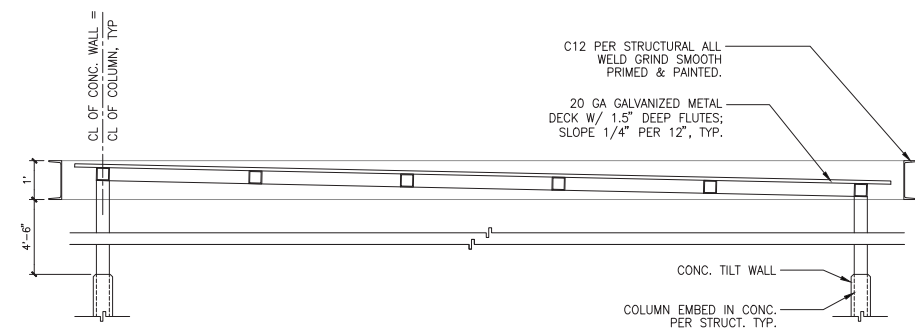
TRASH ENCLOSURE GATE LATCHES



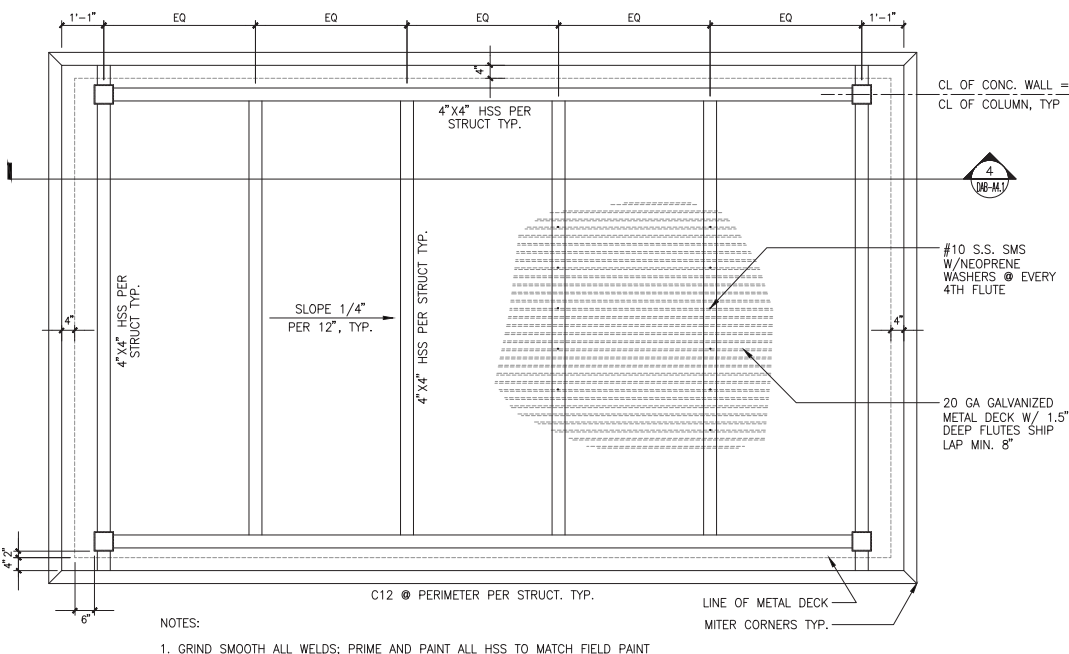
LIGHTING POLE



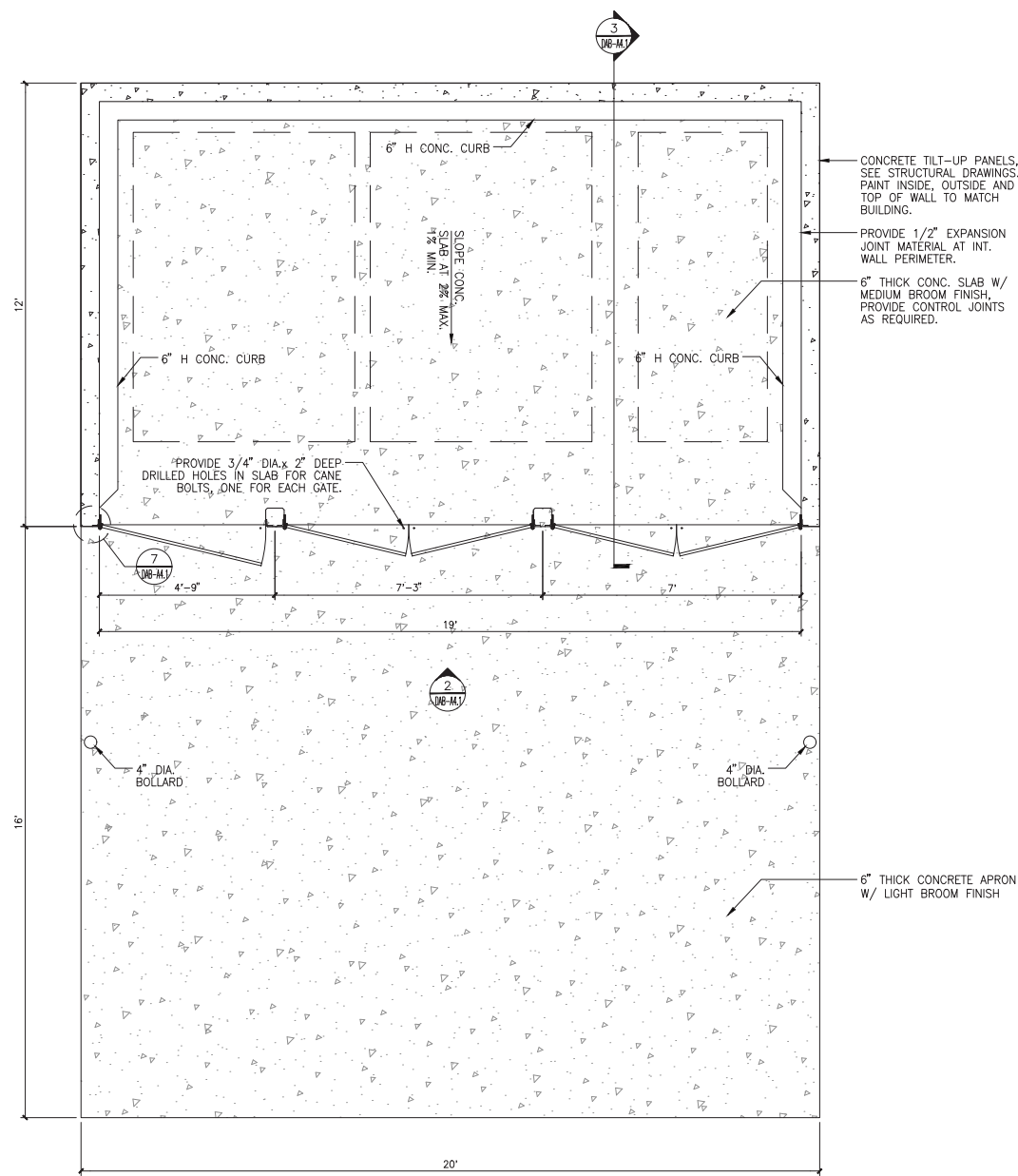
TRASH ENCLOSURE SECTION



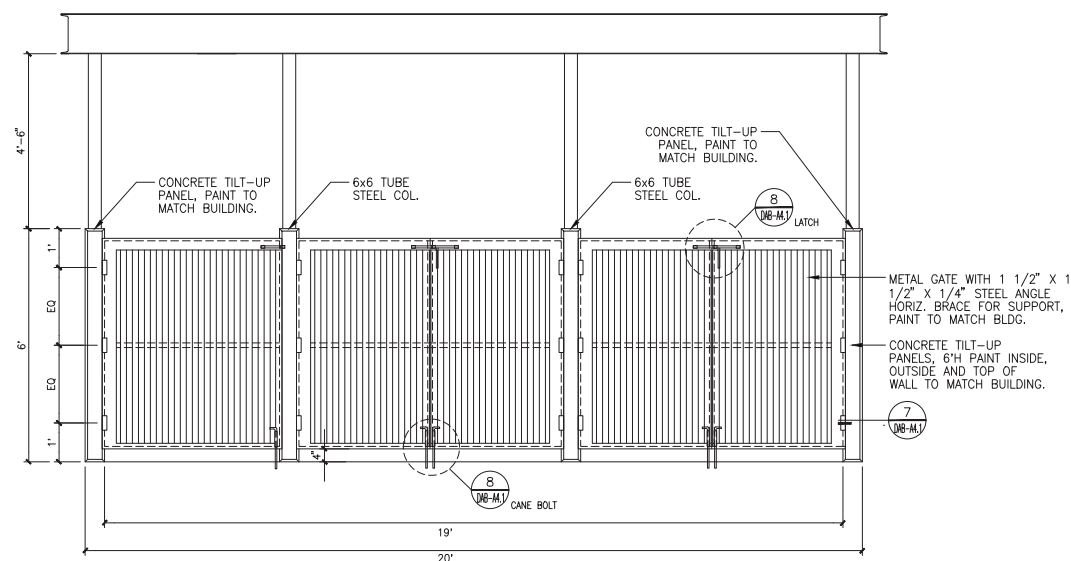
TRASH ENCLOSURE/OUTDOOR STORAGE CANOPY DETAIL



TRASH ENCLOSURE ROOF PLAN



TRASH ENCLOSURE GATE ELEVATION



TRASH ENCLOSURE GATE ELEVATION

tel:
fax:
email:

Owner:

tel:

Project:

Consultants:

Civil:
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape:
Fire Protection:
Soils Engineer:

Title: Trash enclosure

Project Number:

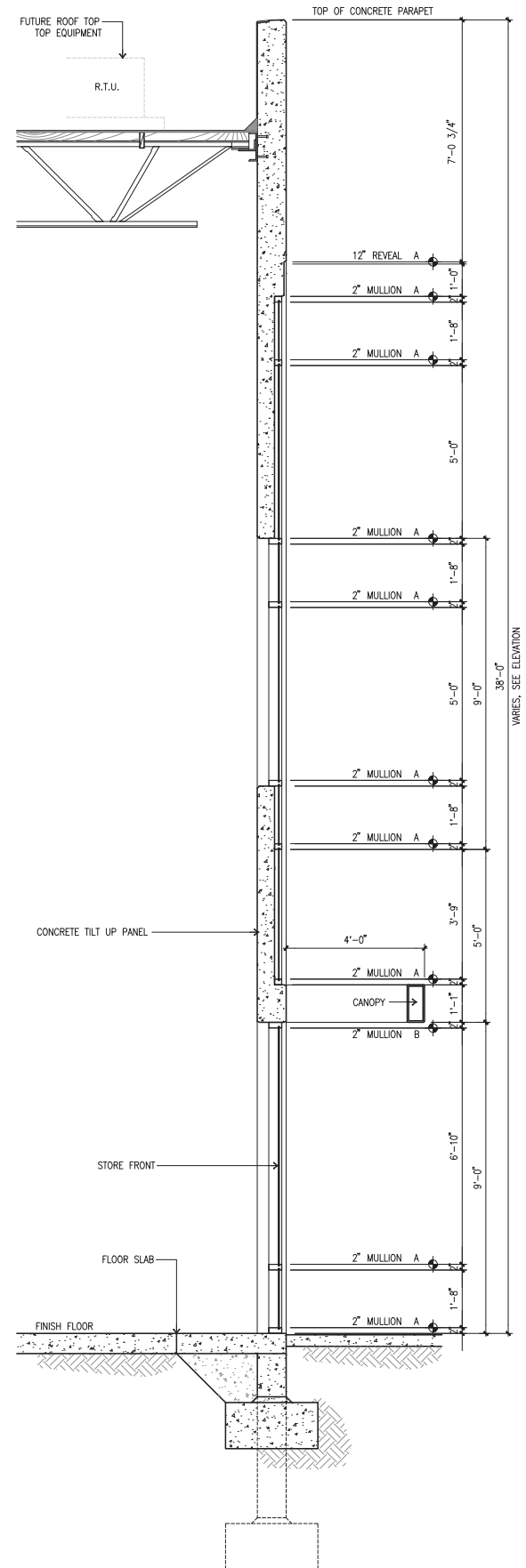
Drawn by: JS

Date: 02/15/2019

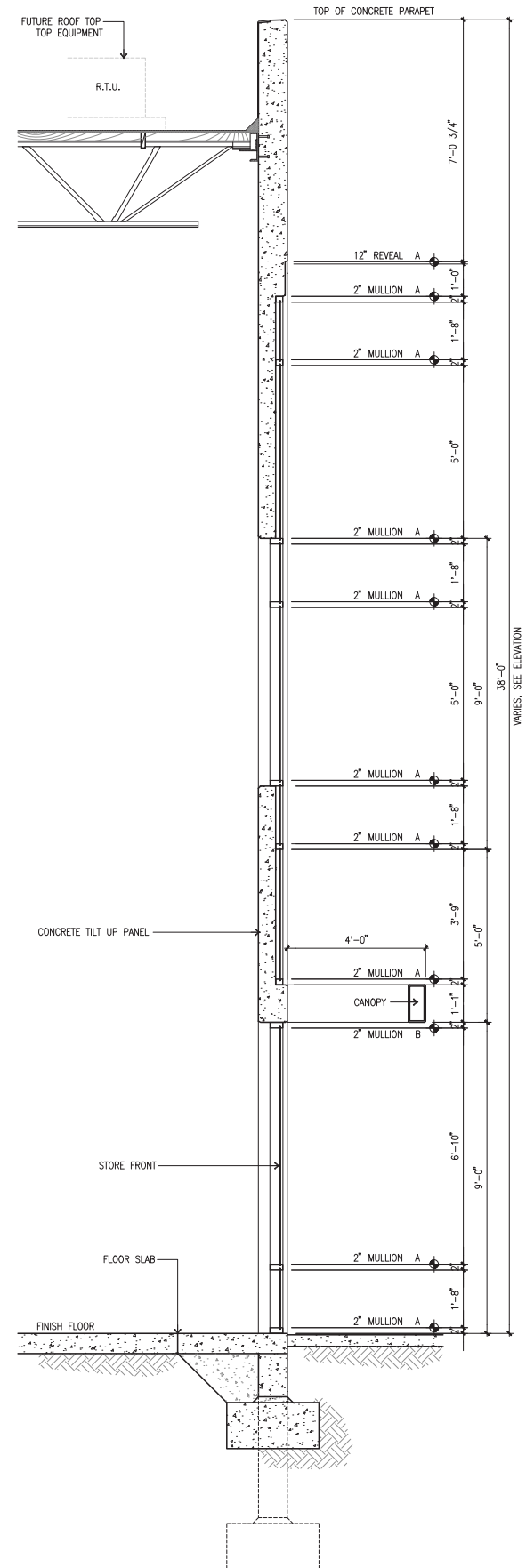
Revision:

Sheet:

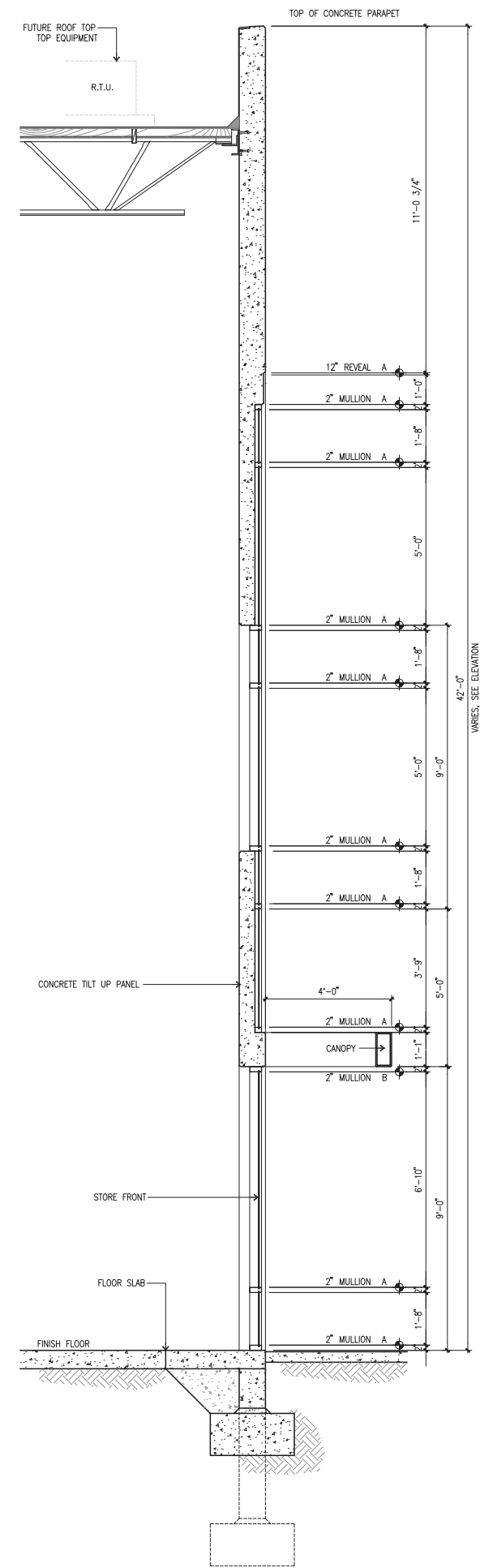
DAB-A4.1



TYP. STOREFRONT ELEVATION - BLDG 3
scale: 1/2" = 1'-0"



TYP. STOREFRONT ELEVATION - BLDG 2
scale: 1/2" = 1'-0"



TYP. STOREFRONT ELEVATION - BLDG 1
scale: 1/2" = 1'-0"

tel:
fax:
email:

Owner:

tel:

Project:

Consultants:

Civil:
Structural:
Mechanical:
Plumbing:
Electrical:
Landscape:
Fire Protection:
Soils Engineer:

Title:

Wall Sections

Project Number:

Drawn by:

JS

Date:

02/15/2019

Revision:

Sheet:

DAB-A4.2